

Site Plans

Issued for Local Approvals
 Date Issued July 11, 2024
 Latest Issue August 30, 2024

Multifamily Development

10 Grosvenor Street
 Worcester, MA



120 Front Street
 Suite 500
 Worcester, MA 01608
 508.752.1001

Architect

Maugel Destefano
 Architects
 200 Ayer Road, Suite 200
 Harvard, MA 01451
 978.456.2884

Surveyor

Geo Network Land Survey
 645 Chandler St
 Worcester, MA 01602
 508.755.7003

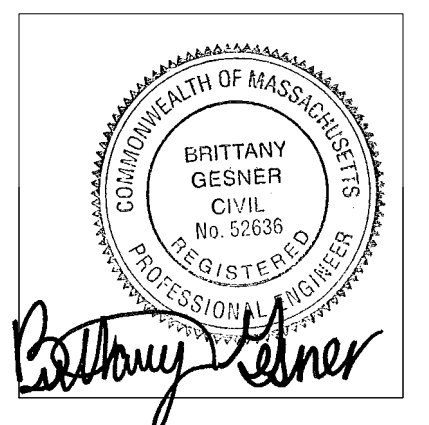
Sheet Index

No.	Drawing Title	Latest Issue
C1.01	Legend and General Notes	August 30, 2024
C2.01	Site Plan	August 30, 2024
C3.01	Site Details	August 30, 2024
C3.02	Site Details	August 30, 2024
L1.01	Planting Plan and Details	August 30, 2024

Reference Drawings

No.	Drawing Title	Latest Issue
	Existing Conditions Plan of Land	February 24, 2024
L-1	10 Grosvenor Site - Photometric Calculation	August 30, 2024
	Architectural Perspectives	August 30, 2024
	Architectural Sun Study	August 30, 2024
	Architectural Floor Plans	August 30, 2024
	Architectural Elevations	August 30, 2024

Assessor's Map-Block-Lot: 05-014-0046A





120 Front Street
Suite 500
Worcester, MA 01608
508.752.1001

Legend

Exist.	Prop.	Exist.	Prop.
PROPERTY LINE	PROJECT LIMIT LINE	CONCRETE	HEAVY DUTY PAVEMENT
RIGHT-OF-WAY/PROPERTY LINE	EASEMENT	BUILDINGS	RIPRAP
BUILDING SETBACK	PARKING SETBACK	CONSTRUCTION EXIT	
BASELINE	CONSTRUCTION LAYOUT		
ZONING LINE	TOWN LINE		
LIMIT OF DISTURBANCE	WETLAND LINE WITH FLAG		
FLOODPLAIN	BORDERING LAND SUBJECT TO FLOODING		
WETLAND BUFFER ZONE	NO DISTURB ZONE		
200' RIVERFRONT AREA			
GRAVEL ROAD	EDGE OF PAVEMENT		
BITUMINOUS BERM	BITUMINOUS CURB		
CONCRETE CURB	CURB AND GUTTER		
EXTRUDED CONCRETE CURB	MONOLITHIC CONCRETE CURB		
PRECAST CONC. CURB	SLOPED GRAN. EDGING		
VERT. GRAN. CURB	LIMIT OF CURB TYPE		
SAWCUT			
BUILDING	BUILDING ENTRANCE		
LOADING DOCK	BOLLARD		
DUMPSTER PAD	SIGN		
DOUBLE SIGN			
STEEL GUARDRAIL	WOOD GUARDRAIL		
PATH	TREE LINE		
WIRE FENCE	FENCE		
STOCKADE FENCE	STONE WALL		
RETAINING WALL	STREAM / POND / WATER COURSE		
DETENTION BASIN	HAY BALES		
SILT FENCE	SILT SOCK / STRAW WATTLE		
MINOR CONTOUR	MAJOR CONTOUR		
PARKING COUNT	COMPACT PARKING STALLS		
DOUBLE YELLOW LINE	STOP LINE		
CROSSWALK	ACCESSIBLE CURB RAMP		
ACCESSIBLE PARKING	VAN-ACCESSIBLE PARKING		

Abbreviations

General	
ABAN	ABANDON
ACR	ACCESSIBLE CURB RAMP
ADJ	ADJUST
APPROX	APPROXIMATE
BIT	BITUMINOUS
BS	BOTTOM OF SLOPE
BWLL	BROKEN WHITE LANE LINE
CONC	CONCRETE
DYCL	DOUBLE YELLOW CENTER LINE
EL	ELEVATION
ELEV	ELEVATION
EX	EXISTING
FDN	FOUNDATION
FFE	FIRST FLOOR ELEVATION
GRAN	GRANITE
GTD	GRADE TO DRAIN
LA	LANDSCAPE AREA
LOD	LIMIT OF DISTURBANCE
MAX	MAXIMUM
MIN	MINIMUM
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PERF	PERFORATED
PROP	PROPOSED
REM	REMOVE
RET	RETAIN
R&D	REMOVE AND DISPOSE
R&R	REMOVE AND RESET
SWEL	SOLID WHITE EDGE LINE
SWLL	SOLID WHITE LANE LINE
TS	TOP OF SLOPE
TYP	TYPICAL
Utility	
CB	CATCH BASIN
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
DCB	DOUBLE CATCH BASIN
DMH	DRAIN MANHOLE
CIP	CAST IRON PIPE
COND	CONDUIT
DIP	DUCTILE IRON PIPE
FES	FLARED END SECTION
FM	FORCE MAIN
F&G	FRAME AND GRATE
F&C	FRAME AND COVER
GI	GUTTER INLET
GT	GREASE TRAP
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HH	HANDHOLE
HW	HEADWALL
HYD	HYDRANT
INV	INVERT ELEVATION
I=	INVERT ELEVATION
LP	LIGHT POLE
MES	METAL END SECTION
PIV	POST INDICATOR VALVE
PWW	PAVED WATER WAY
PVC	POLYVINYLCHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R=	RIM ELEVATION
RIM=	RIM ELEVATION
SMH	SEWER MANHOLE
TSV	TAPPING SLEEVE, VALVE AND BOX
UG	UNDERGROUND
UP	UTILITY POLE

Notes

- General**
- CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
 - ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
 - AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE SIX (6) INCHES LOAM AND SEED.
 - WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
 - WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
 - UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
 - TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
 - IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
 - CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
 - DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
 - CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
- Layout and Materials**
- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
 - CURB RADI ARE THREE (3) FEET UNLESS OTHERWISE NOTED.
 - CURBING SHALL BE VERTICAL GRANITE CURB (VGC) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.
 - SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
 - PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.
 - PRIOR TO START OF CONSTRUCTION, CONTRACTOR SHALL VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES.
- Demolition**
- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS. REMOVE AND DISPOSE OF EXISTING UTILITIES, FOUNDATIONS AND UNSUITABLE MATERIAL BENEATH AND FOR A DISTANCE OF 10 FEET BEYOND THE PROPOSED BUILDING FOOTPRINT INCLUDING EXTERIOR COLUMNS.
 - EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL, STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS. THE CONTRACTOR SHALL COORDINATE UTILITY SERVICE DISCONNECTS WITH THE UTILITY REPRESENTATIVES.
 - CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.
 - THE DEMOLITION LIMITS DEPICTED IN THE PLANS IS INTENDED TO AID THE CONTRACTOR DURING THE BIDDING AND CONSTRUCTION PROCESS AND IS NOT INTENDED TO DEPICT EACH AND EVERY ELEMENT OF DEMOLITION. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING THE DETAILED SCOPE OF DEMOLITION BEFORE SUBMITTING ITS BID/PROPOSAL TO PERFORM THE WORK AND SHALL MAKE NO CLAIMS AND SEEK NO ADDITIONAL COMPENSATION FOR CHANGED CONDITIONS OR UNFORSEEN OR LATENT SITE CONDITIONS RELATED TO ANY CONDITIONS DISCOVERED DURING EXECUTION OF THE WORK.
 - UNLESS OTHERWISE SPECIFICALLY PROVIDED ON THE PLANS OR IN THE SPECIFICATIONS, THE ENGINEER HAS NOT PREPARED DESIGNS FOR AND SHALL HAVE NO RESPONSIBILITY FOR THE PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF HAZARDOUS MATERIALS, TOXIC WASTES OR POLLUTANTS AT THE PROJECT SITE. THE ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY CLAIMS OF LOSS, DAMAGE, EXPENSE, DELAY, INJURY OR DEATH ARISING FROM THE PRESENCE OF HAZARDOUS MATERIAL AND CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE ENGINEER FROM ANY CLAIMS MADE IN CONNECTION THEREWITH. MOREOVER, THE ENGINEER SHALL HAVE NO ADMINISTRATIVE OBLIGATIONS OF ANY TYPE WITH REGARD TO ANY CONTRACTOR AMENDMENT INVOLVING THE ISSUES OF PRESENCE, DISCOVERY, REMOVAL, ABATEMENT OR DISPOSAL OF ASBESTOS OR OTHER HAZARDOUS MATERIALS.
- Erosion Control**
- PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
 - CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
 - CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
 - CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
 - UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.
- Existing Conditions Information**
- BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY GEO NETWORK LAND SURVEY, AND FROM PLANS OF RECORD. THE TOPOGRAPHY AND PHYSICAL FEATURES ARE BASED ON AN ACTUAL FIELD SURVEY PERFORMED ON THE GROUND BY GEONETWORK LAND SURVEY, DURING FEBRUARY 2024.
 - TOPOGRAPHY: ELEVATIONS ARE BASED ON NAVD88
- Document Use**
- THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB. ANY UNAUTHORIZED USE, REUSE, MODIFICATION OR ALTERATION, INCLUDING AUTOMATED CONVERSION OF THIS DOCUMENT SHALL BE AT THE USER'S SOLE RISK WITHOUT LIABILITY OR LEGAL EXPOSURE TO VHB.
 - CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
 - SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR SHALL REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- General**
- CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
 - ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).
 - AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE SIX (6) INCHES LOAM AND SEED.
 - WITHIN THE LIMITS OF THE BUILDING FOOTPRINT, THE SITE CONTRACTOR SHALL PERFORM EARTHWORK OPERATIONS REQUIRED UP TO SUBGRADE ELEVATIONS.
 - WORK WITHIN THE LOCAL RIGHTS-OF-WAY SHALL CONFORM TO LOCAL MUNICIPAL STANDARDS. WORK WITHIN STATE RIGHTS-OF-WAY SHALL CONFORM TO THE LATEST EDITION OF THE STATE HIGHWAY DEPARTMENTS STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES.
 - UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
 - TRAFFIC SIGNAGE AND PAVEMENT MARKINGS SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 - AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
 - IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
 - CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
 - DAMAGE RESULTING FROM CONSTRUCTION LOADS SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO OWNER.
 - CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
- Utilities**
- THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS. THE UTILITY INFORMATION SHOWN DOES NOT GUARANTEE THE ACTUAL EXISTENCE, SERVICEABILITY, OR OTHER DATA CONCERNING THE UTILITIES, NOR DOES IT GUARANTEE AGAINST THE POSSIBILITY THAT ADDITIONAL UTILITIES MAY BE PRESENT THAT ARE NOT SHOWN ON THE PLANS. PRIOR TO ORDERING MATERIALS AND BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY AND DETERMINE THE EXACT LOCATIONS, SIZES, AND ELEVATIONS OF THE POINTS OF CONNECTIONS TO EXISTING UTILITIES AND, SHALL CONFIRM THAT THERE ARE NO INTERFERENCES WITH EXISTING UTILITIES AND THE PROPOSED UTILITY ROUTES, INCLUDING ROUTES WITHIN THE PUBLIC RIGHTS-OF-WAY.
 - WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED IN WRITING TO THE OWNER'S REPRESENTATIVE FOR THE RESOLUTION OF THE CONFLICT AND CONTRACTOR'S FAILURE TO NOTIFY PRIOR TO PERFORMING ADDITIONAL WORK RELEASES OWNER FROM OBLIGATIONS FOR ADDITIONAL PAYMENTS WHICH OTHERWISE MAY BE WARRANTED TO RESOLVE THE CONFLICT.
 - SET CATCH BASIN RIMS, AND INVERTS OF SEWERS, DRAINS, AND DITCHES IN ACCORDANCE WITH ELEVATIONS ON THE GRADING AND UTILITY PLANS.
 - RIM ELEVATIONS FOR DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES, AND MANHOLES, AND OTHER SUCH ITEMS, ARE APPROXIMATE AND SHALL BE SET/RESET AS FOLLOWS:
 - PAVEMENTS AND CONCRETE SURFACES: FLUSH
 - ALL SURFACES ALONG ACCESSIBLE ROUTES: FLUSH
 - LANDSCAPE, LOAM AND SEED, AND OTHER EARTH SURFACE AREAS: ONE INCH ABOVE SURROUNDING AREA AND TAPER EARTH TO THE RIM ELEVATION.
 - THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PROPOSED PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRIC, FIRE ALARM, ETC.). FINAL DESIGN LOADS AND LOCATIONS TO BE COORDINATED WITH OWNER AND ARCHITECT.
 - CONTRACTOR SHALL MAKE ARRANGEMENTS FOR AND SHALL BE RESPONSIBLE FOR PAYING FEES FOR POLE RELOCATION AND FOR THE ALTERATION AND ADJUSTMENT OF GAS, ELECTRIC, TELEPHONE, FIRE ALARM, AND ANY OTHER PRIVATE UTILITIES, WHETHER WORK IS PERFORMED BY CONTRACTOR OR BY THE UTILITIES COMPANY.
 - UTILITY PIPE MATERIALS SHALL BE AS FOLLOWS, UNLESS OTHERWISE NOTED ON THE PLAN:
 - WATER PIPES SHALL BE DUCTILE IRON (DI)
 - SANITARY SEWER PIPES SHALL BE POLYVINYL CHLORIDE (PVC) SEWER PIPE
 - STORM DRAINAGE PIPES SHALL BE
 - 1" 8' PIPE BETWEEN CATCH BASINS AND MANHOLES: SDR-18
 - 12" OR GREATER PIPE: HIGH DENSITY POLYETHYLENE (HDPE)
 - PIPES LOCATED WITHIN CITY RIGHT-OF-WAY: REINFORCED CONCRETE PIPE (RCP)
 - 6" AREA DRAIN PIPE: HIGH DENSITY POLYETHYLENE (HDPE)
 - PIPE INSTALLATION AND MATERIALS SHALL COMPLY WITH THE STATE PLUMBING CODE WHERE APPLICABLE. CONTRACTOR SHALL COORDINATE WITH LOCAL PLUMBING INSPECTOR PRIOR TO BEGINNING WORK.
 - CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR AND SHALL FURNISH EXCAVATION, INSTALLATION, AND BACKFILL OF ELECTRICAL FURNISHED SITEMARK RELATED ITEMS SUCH AS PULL BOXES, CONDUITS, DUCT BANKS, LIGHT POLE BASES, AND CONCRETE PADS. SITE CONTRACTOR SHALL FURNISH CONCRETE ENCASMENT OF DUCT BANKS IF REQUIRED BY THE UTILITY COMPANY AND AS INDICATED ON THE DRAWINGS.
 - CONTRACTOR SHALL EXCAVATE AND BACKFILL TRENCHES FOR GAS IN ACCORDANCE WITH GAS COMPANY'S REQUIREMENTS.
 - ALL DRAINAGE AND SANITARY STRUCTURE INTERIOR DIAMETERS (4" MIN.) SHALL BE DETERMINED BY THE MANUFACTURER BASED ON THE PIPE CONFIGURATIONS SHOWN ON THESE PLANS AND LOCAL MUNICIPAL STANDARDS. FOR MANHOLES THAT ARE 20 FEET IN DEPTH AND GREATER, THE MINIMUM DIAMETER SHALL BE 5 FEET.

Multifamily Development

10 Grosvenor Street
Worcester, MA

No.	Revision	Date	Appr'd
1	Address City Comments	08/30/2024	BMG

Designed by: CSH
Checked by: BMG
Issued for: _____ Date: _____

Local Approvals July 11, 2024

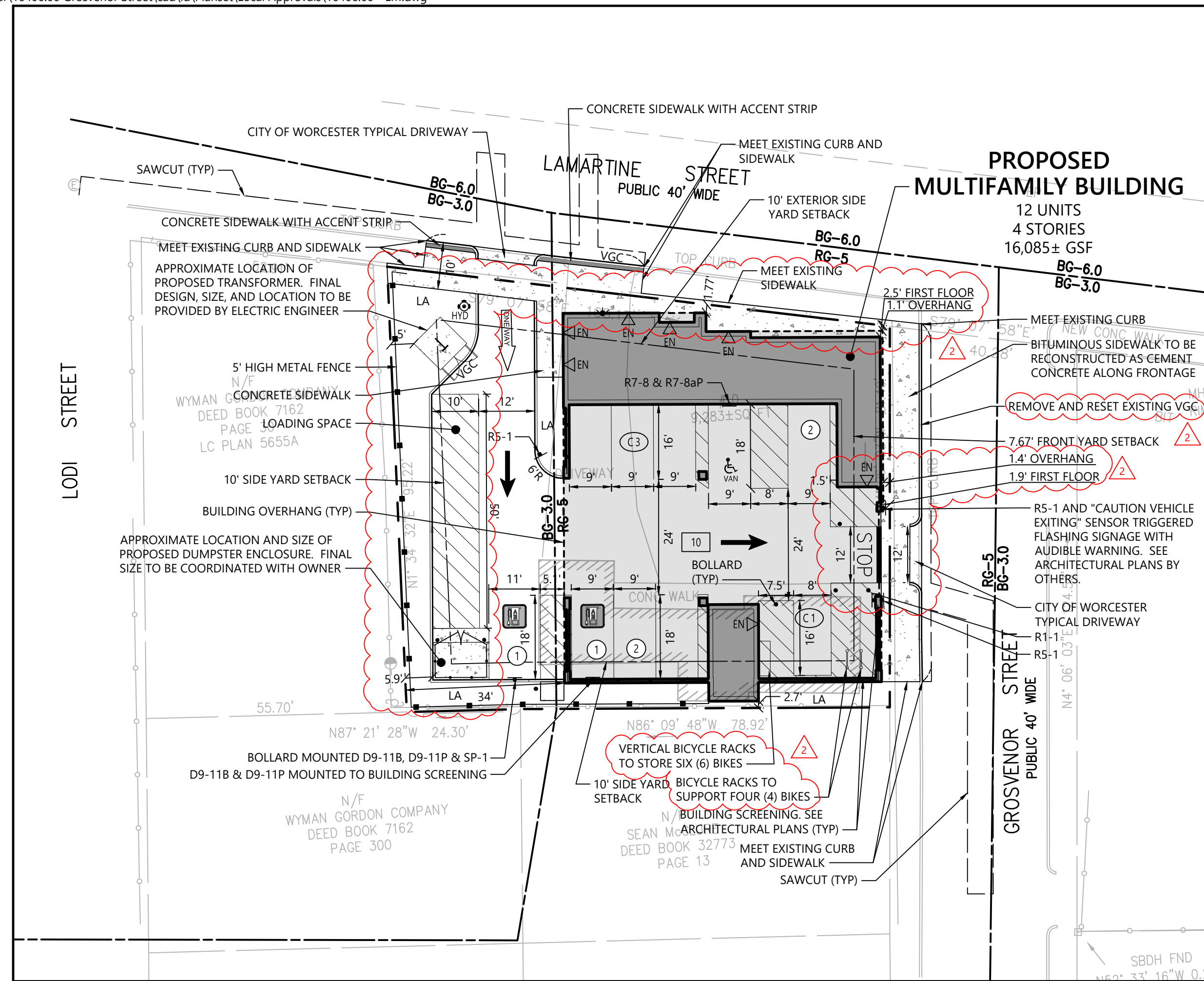
Not Approved for Construction

Drawing Title
Legend and General Notes

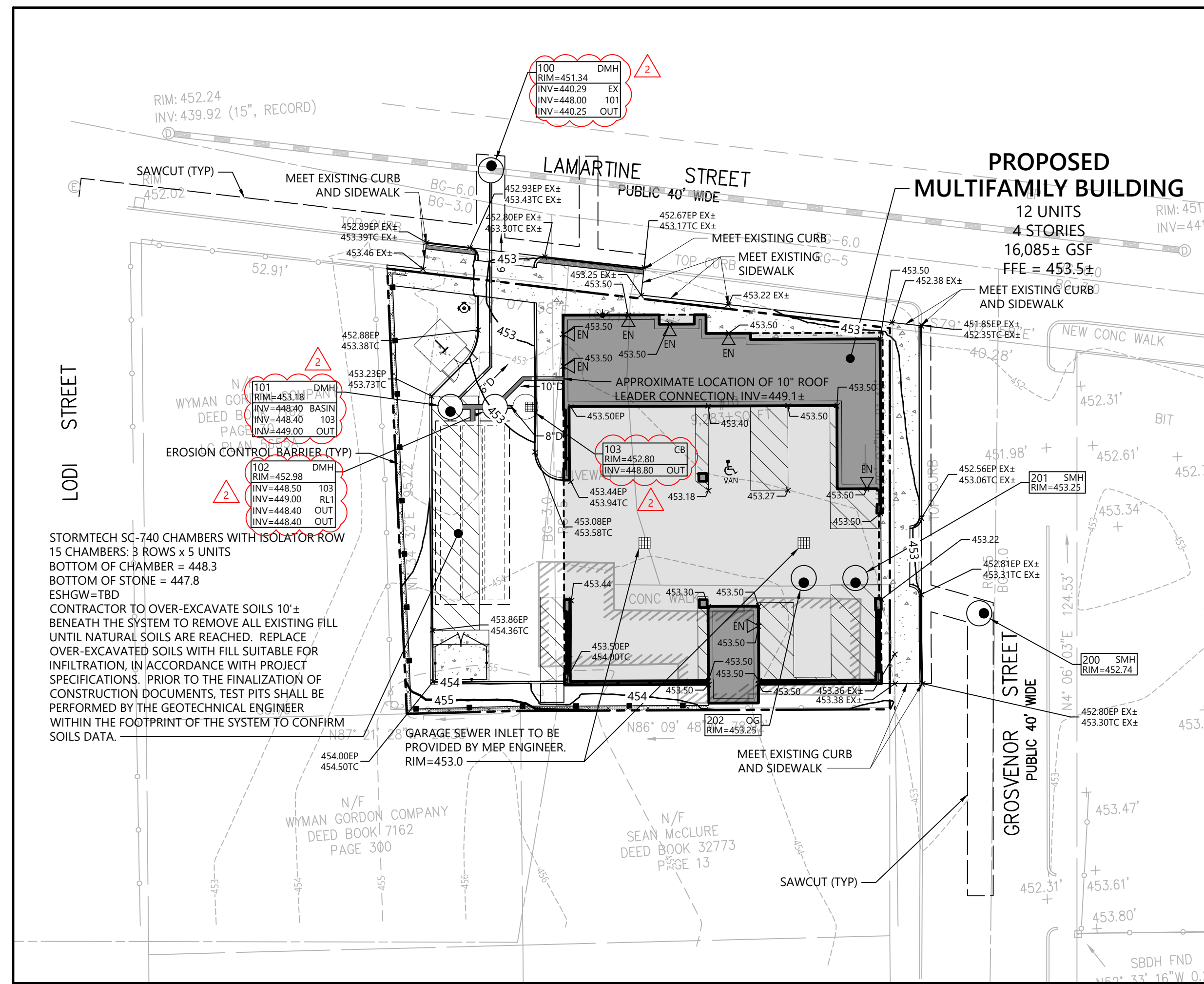
Sheet **C1.01** of _____
1 of 5
Project Number 16406.00



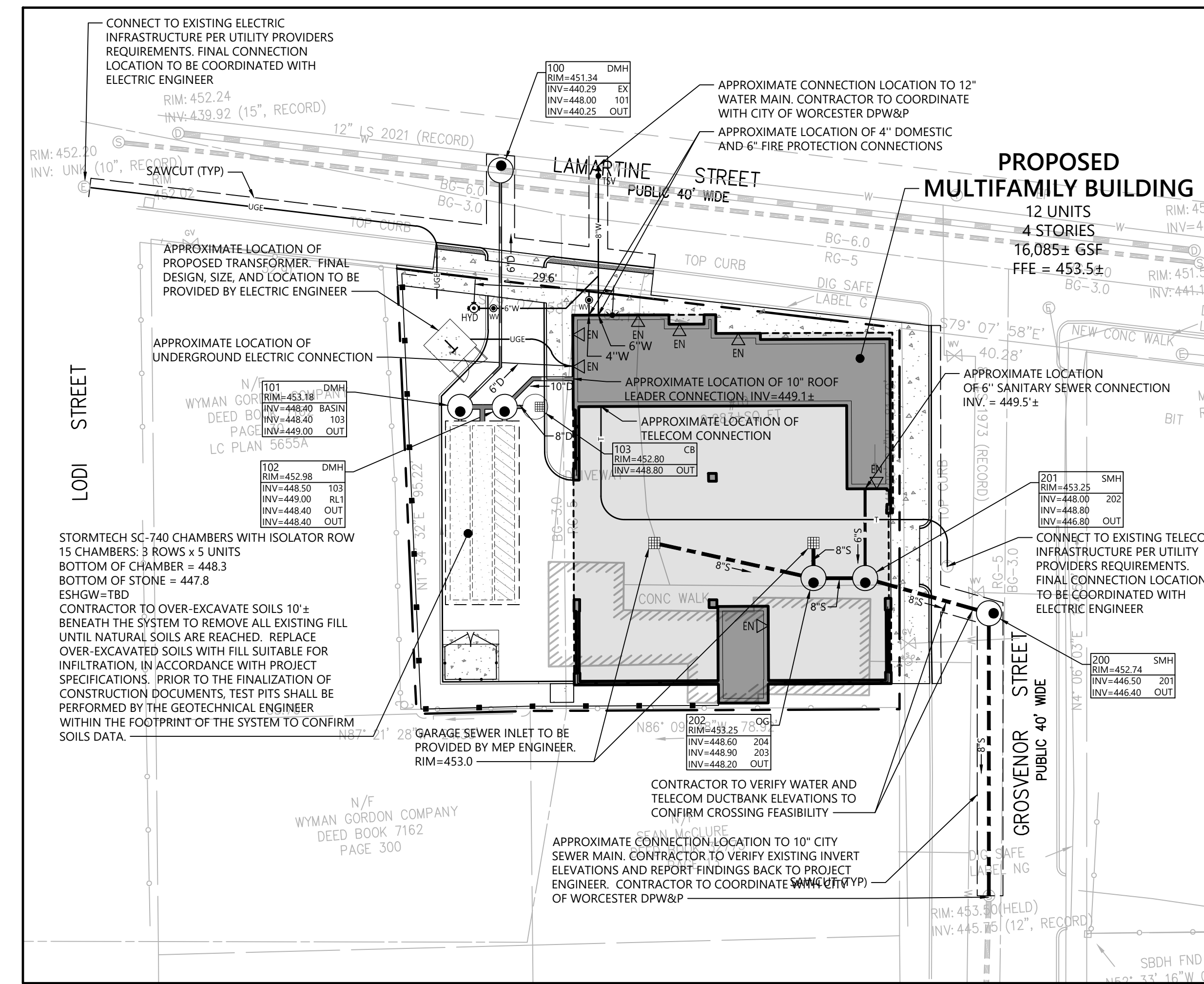
Brittany Gesner



Layout and Materials Plan



Grading, Drainage, and Erosion Control Plan



Utility Plan

Sign Summary

M.U.T.C.D. Number	Specification	Desc.
R1-1	30" x 30"	STOP
R5-1	30" x 30"	DO NOT ENTER
R7-1	12" x 18"	NO PARKING ANY TIME
R7-8	12" x 18"	RESERVED PARKING
R7-8P	12" x 6"	VAN ACCESSIBLE
D9-11B	12" x 18"	ELECTRIC VEHICLE CHARGING
D9-11BP	12" x 12"	ELECTRIC VEHICLE CHARGING
SP-1	12" x 6"	USE LAST

Parking Requirements:

RESIDENTIAL	12 UNITS x 2 SPACES / 1 UNIT =	24 SPACES
15% DENSITY BONUS REDUCTION		- 3 SPACES
25% ELIGIBLE DEVELOPMENT REDUCTION		- 5 SPACES
50% SPECIAL PERMIT REDUCTION *		- 4 SPACES
TOTAL PARKING REQUIRED		12 SPACES

* The 50% SPECIAL PERMIT REDUCTION OF 4 SPACES IS BASED ON A TOTAL SPACES REQUIRED BEING 24 SPACES, WHICH ALLOWS A TOTAL REDUCTION OF 12 SPACES.

Zoning Summary Chart

Zoning District(s):	Residence, General (RG-5), & Business, General (BG-3.0)		
Overlay District(s):	N/A		
Zoning Regulation Requirements	Required (RG-5) ¹	Eligible Development Reduction ²	Provided
MINIMUM LOT AREA	13,250 SF ³	11,262.5 SF ⁴	9,283± SF
MINIMUM FRONTAGE ⁵	100 Feet ⁶	96 Feet ⁷	81.4 Feet
FRONT YARD SETBACK ⁵	7.67 Feet ⁸	-	1.4 Feet
EXTERIOR SIDE YARD SETBACK ⁵	10 Feet	-	1.1 Feet
SIDE YARD SETBACK ⁵	10 Feet	-	2.7 Feet
MAXIMUM BUILDING HEIGHT	90 Feet	-	49 Feet 10 Inches
MAXIMUM BUILDING HEIGHT	8+ Stories	-	4 Stories
MAXIMUM FRONT YARD IMPERVIOUS AREA	50 %	-	93 %
MAXIMUM EXTERIOR SIDE YARD IMPERVIOUS AREA	50 %	-	90 %

1. Zoning regulation requirements as specified in the City of Worcester Zoning Ordinance, dated April 2, 1991 as amended through May 9, 2023.
 2. The project is an Eligible Development per Article VII Section 6, and can reduce the dimensional requirements by 15% in RG-5 districts.
 3. Within the RG-5 district, required lot area based on 12 dwelling units is 13,250 SF, (5,000 SF + (750 SF x 11 DU) = 13,250 SF).
 4. With the Eligible Development Reduction (15%), required lot area based on a 15% reduction of 13,250 SF is 11,262.5 SF, (13,250 x 0.85 = 11,262.5 SF).
 5. The lot is a corner lot has identified Grosvenor Street as its front lot line. Lamartine St. is considered an exterior side lot line.
 6. Within the RG-5 district, required frontage based on 12 dwelling units is 100 Feet (50 Feet + (5 Feet x 11 DU) = 105 Feet) which exceeds the 100 feet limitation from Table 4.2 of the Zoning Ordinance.
 7. With the Eligible Development Reduction (15%), required frontage based on a 15% reduction of the total number of dwelling units is 96 Feet, (12 DU x 0.85) = 10.2 DU, 50' + (9.2 DU x 5') = 96'
 8. The required front yard setback is based on Note 6 of Table 4.2 which provides that the average front yard setback of the existing buildings fronting on the same street and block within 150 feet shall be the required front yard setback. (12 Grosvenor St. = 5.75'; 16 Grosvenor St. = 3.75'; 20 Grosvenor Street = 13.5'; 5.75' + 3.75' + 13.5' = 23' ± = 14.97').
 9. No building is proposed within the BG-3.0 District. As such, only the RG-5 required setbacks apply.
 10. Regularity Factor for 10 Grosvenor Street = (16 x 9,283 SF) = 388,02 = 0.987

Parking Summary Chart

Description	Size		Spaces	
	Required	Provided	Existing	Required
STANDARD SPACES	9 x 18	9 x 18	2	3
COMPACT SPACES (25% ALLOWED, 50% WITH SP)	8 x 16	8 x 16	-	4
STANDARD ACCESSIBLE SPACES ¹	8 x 18	-	-	0
VAN ACCESSIBLE SPACES ²	8 x 18	9 x 18	-	1
STANDARD ELECTRIC VEHICLE SPACES ³	9 x 18	9 x 18	-	1
ELECTRIC VEHICLE SPACES (DESIGNED TO BE ACCESSIBLE) ⁴	11 x 18	11 x 18	-	1
TOTAL SPACES			2	12

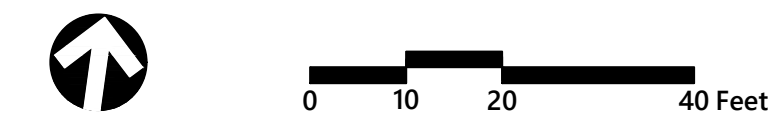
1. REQUIRED ACCESSIBLE SPACES IS BASED ON 10 TOTAL SPACES PROVIDED PER MAAB (1 ACCESSIBLE SPACE REQUIRED)
 2. REQUIRED ACCESSIBLE VAN SPACES IS BASED ON 1 TOTAL ACCESSIBLE SPACES PROVIDED. (ONE IN EVERY EIGHT SPACES SHALL BE A DESIGNATED VAN ACCESSIBLE STALL PER MAAB = 1 SPACE)
 3. REQUIRED ELECTRIC VEHICLE SPACES IS BASED ON 10 TOTAL SPACES PROVIDED. (20% OF 10 SPACES = 2 SPACES REQUIRED TO BE ELECTRIC VEHICLE SPACES)
 4. REQUIRED ELECTRIC VEHICLE SPACES DESIGNED TO BE ACCESSIBLE IS BASED ON 2 TOTAL ELECTRIC VEHICLE SPACES PROVIDED. (2 TOTAL SPACES = 1 ACCESSIBLE SPACE PER MAAB)



120 Front Street
Suite 500
Worcester, MA 01608
508.752.1001

Notes

1. STABILIZED CONSTRUCTION EXIT TO BE FIELD LOCATED AT LIMIT OF DISTURBANCE.
2. ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION. CONTRACTOR TO CONFIRM EROSION AND SEDIMENTATION CONTROLS IN PLACE DURING CONSTRUCTION ARE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CITY OF WORCESTER REQUIREMENTS.
3. SILT SACK SHALL BE INSTALLED AND MAINTAINED IN ALL CATCH BASINS ONLINE DURING CONSTRUCTION.



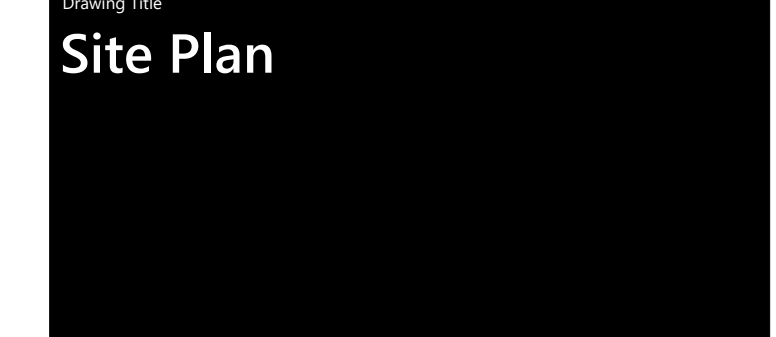
Multifamily Development

10 Grosvenor Street
Worcester, MA

No.	Revision	Date	Appvd.
1	Address City Comments	07/11/2024	BMG
2	Address City Comments	08/30/2024	BMG

Designed by: CSH
Checked by: BMG
Issued for: Local Approvals
Date: July 11, 2024

Not Approved for Construction



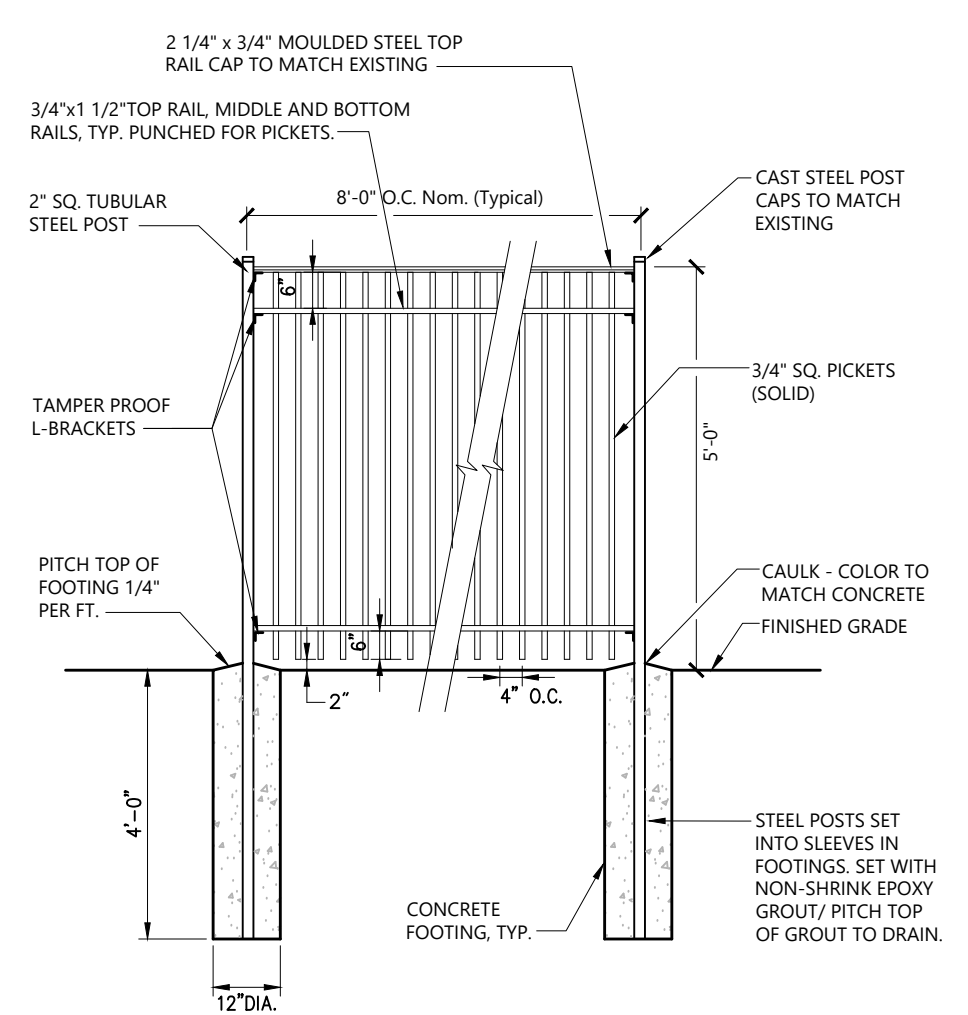
Professional Engineer Seal: BRITANNY GESNER, No. 52638, REGISTERED PROFESSIONAL ENGINEER, COMMONWEALTH OF MASSACHUSETTS.

Sheet 2 of 5

Project Number: 16406.00



120 Front Street
Suite 500
Worcester, MA 01608
508.752.1001

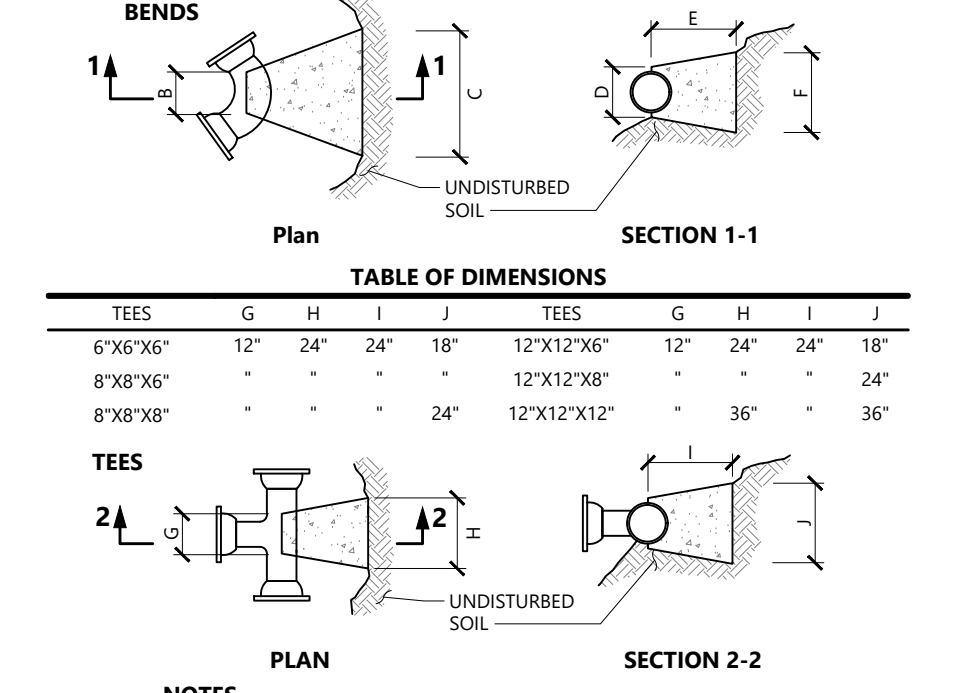


- NOTES:**
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS, BASED ON FIELD MEASUREMENTS, FOR APPROVAL PRIOR TO FABRICATION.
 - ALL STEEL SHALL BE HOT DIPPED GALVANIZED WITH FACTORY APPLIED EPOXY ENAMEL FINISH TO MATCH EXISTING FENCE.

5' Ht. Metal Fence 11/17
N.T.S. Source: Ameristar Fence LD_200

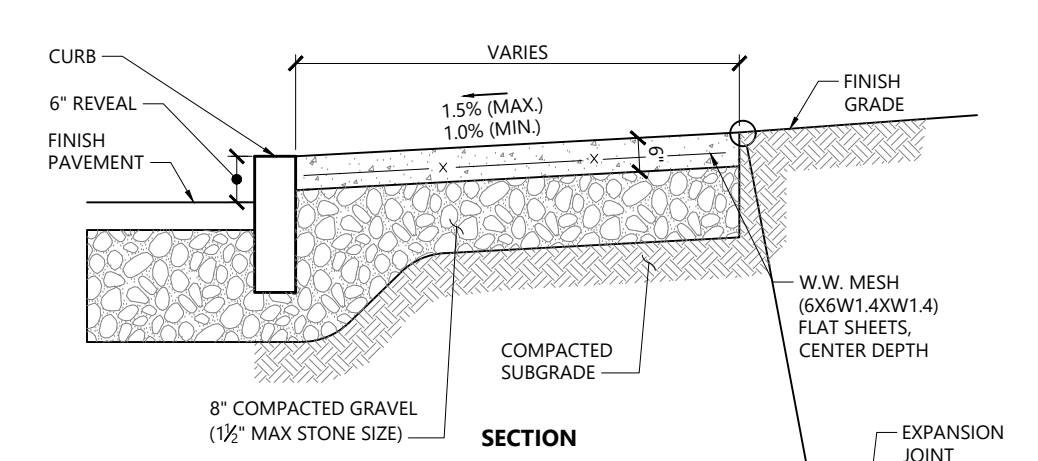
TABLE OF DIMENSIONS

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F
6'-11 1/2"	8"	15"	12"	24"	12"	6'-45"	8"	30"	12"	24"	14"
6'-22 1/2"	-	19"	-	13"	6'-90"	-	30"	-	-	-	27"
8'-11 1/2"	-	20"	-	12"	8'-45"	-	30"	-	-	-	24"
8'-22 1/2"	-	22"	-	17"	8'-90"	-	38"	-	-	-	36"
12'-11 1/2"	-	30"	-	15"	12'-45"	-	40"	-	-	-	40"
12'-22 1/2"	-	35"	-	25"	12'-90"	-	60"	-	-	-	52"



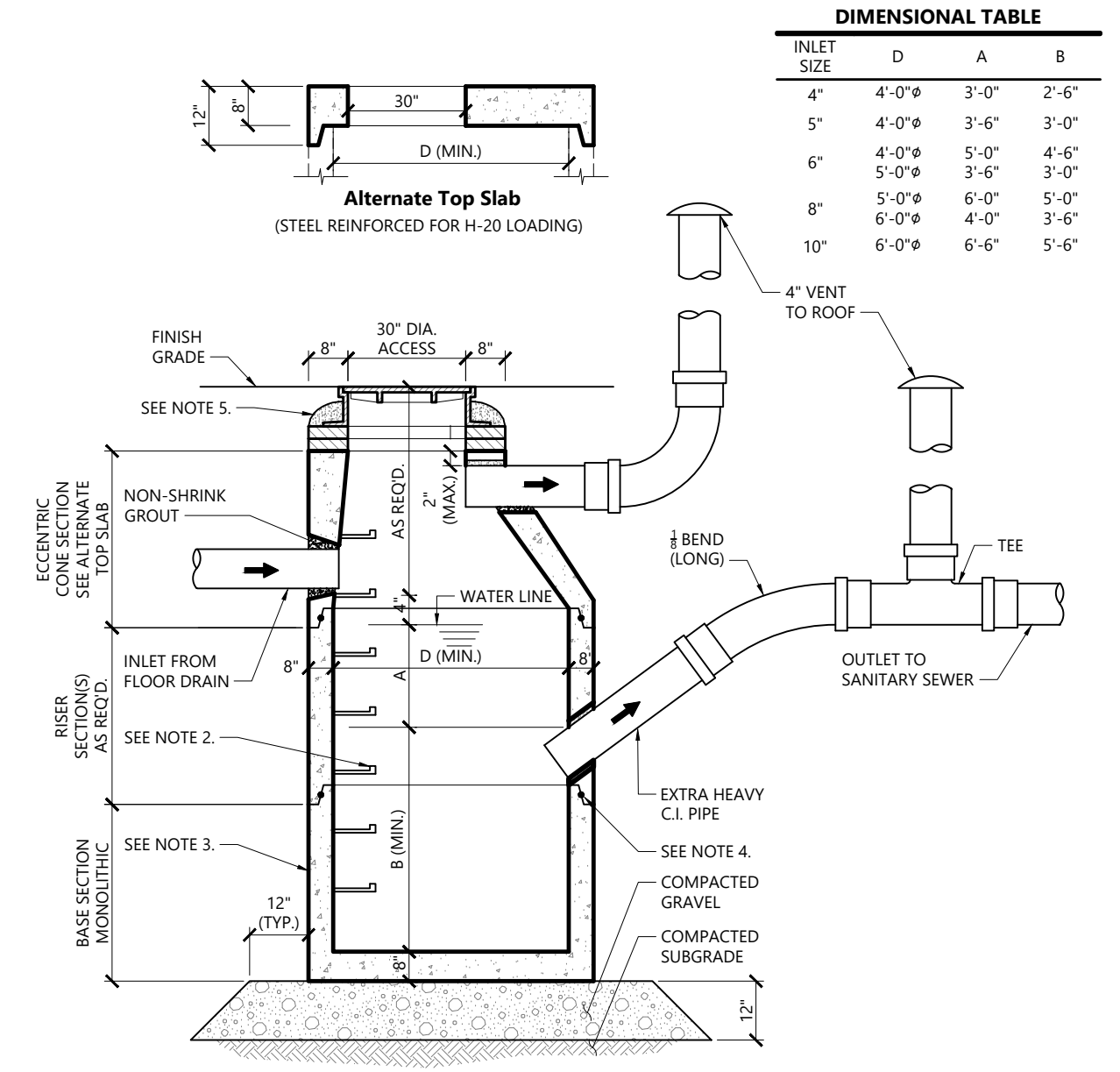
- NOTES:**
- PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
 - CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
 - CONCRETE SHALL BE 3,000 PSI-TYPE I.

Concrete Thrust Block 1/16
N.T.S. Source: VHB LD_260

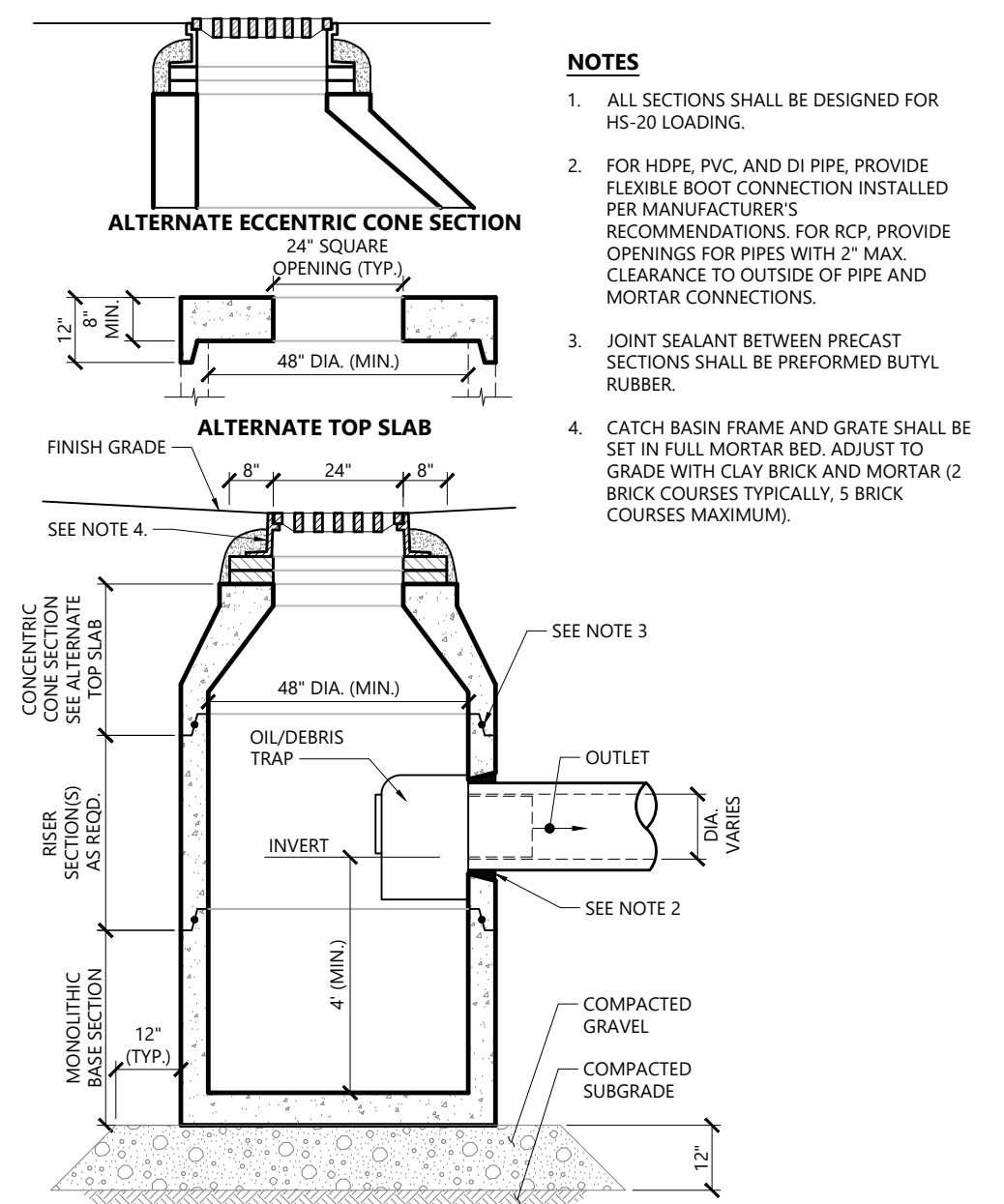


- NOTES:**
- CONCRETE FOR SIDEWALKS TO BE 4000 PSI AND FOR DRIVEWAYS 5000 PSI. BOTH MIXES TO BE TYPE II, 6% (1.5%) AIR ENTRAINED.
 - PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-FORMED EXPANSION JOINT FILLS & SEALER.
 - PROVIDE SAMCUT CONTROL JOINTS AT 6' O.C. OR AS NOTED ON PLANS.
 - PROVIDE MEDIUM BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.
 - ALL EXPOSED CONCRETE SURFACES SHALL BE SEALED WITH A SILANE-SILOXANE PRODUCT.

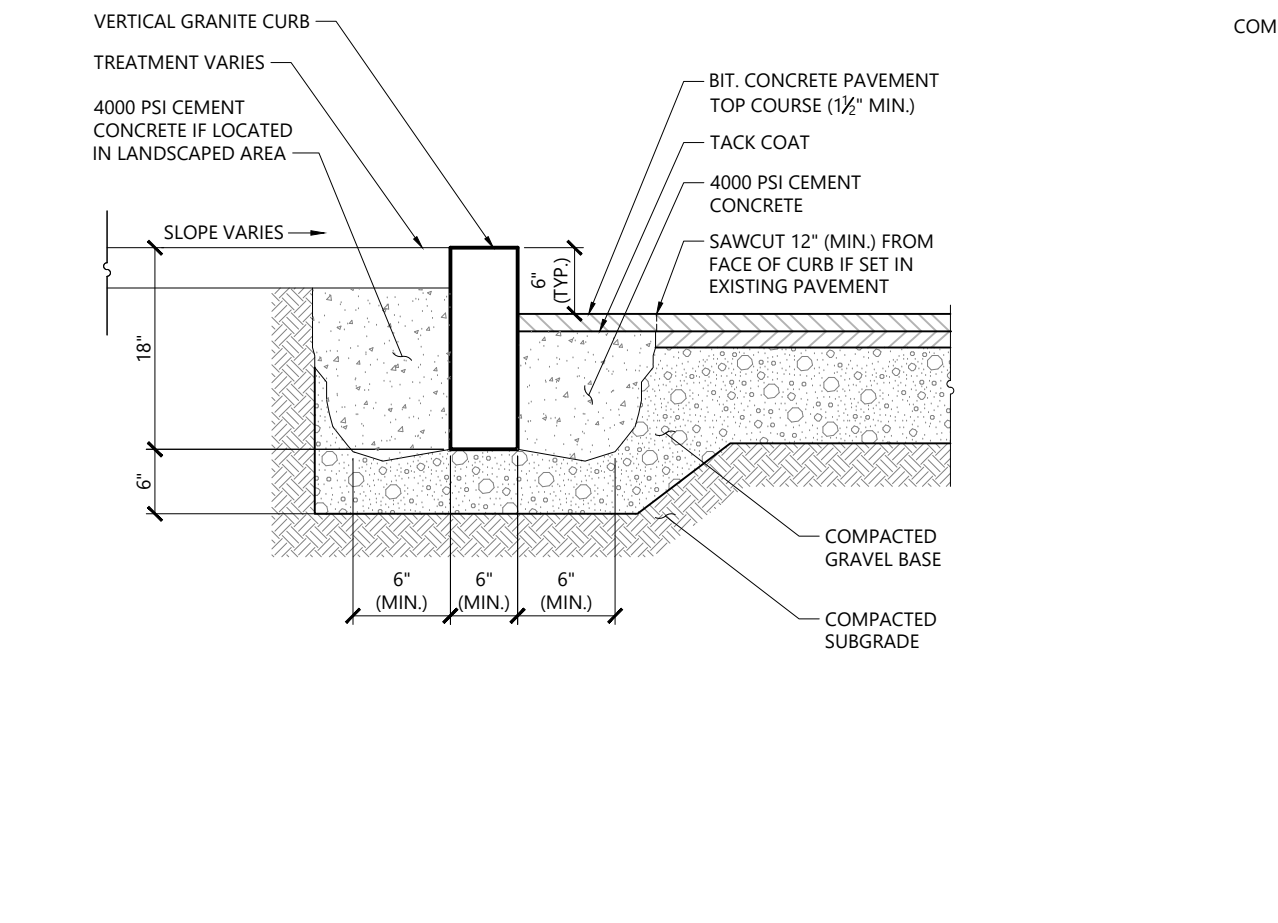
Concrete Sidewalk 3/20
N.T.S. Source: VHB LD_420



Oil And Gasoline Separator 10/20
N.T.S. Source: VHB LD_228



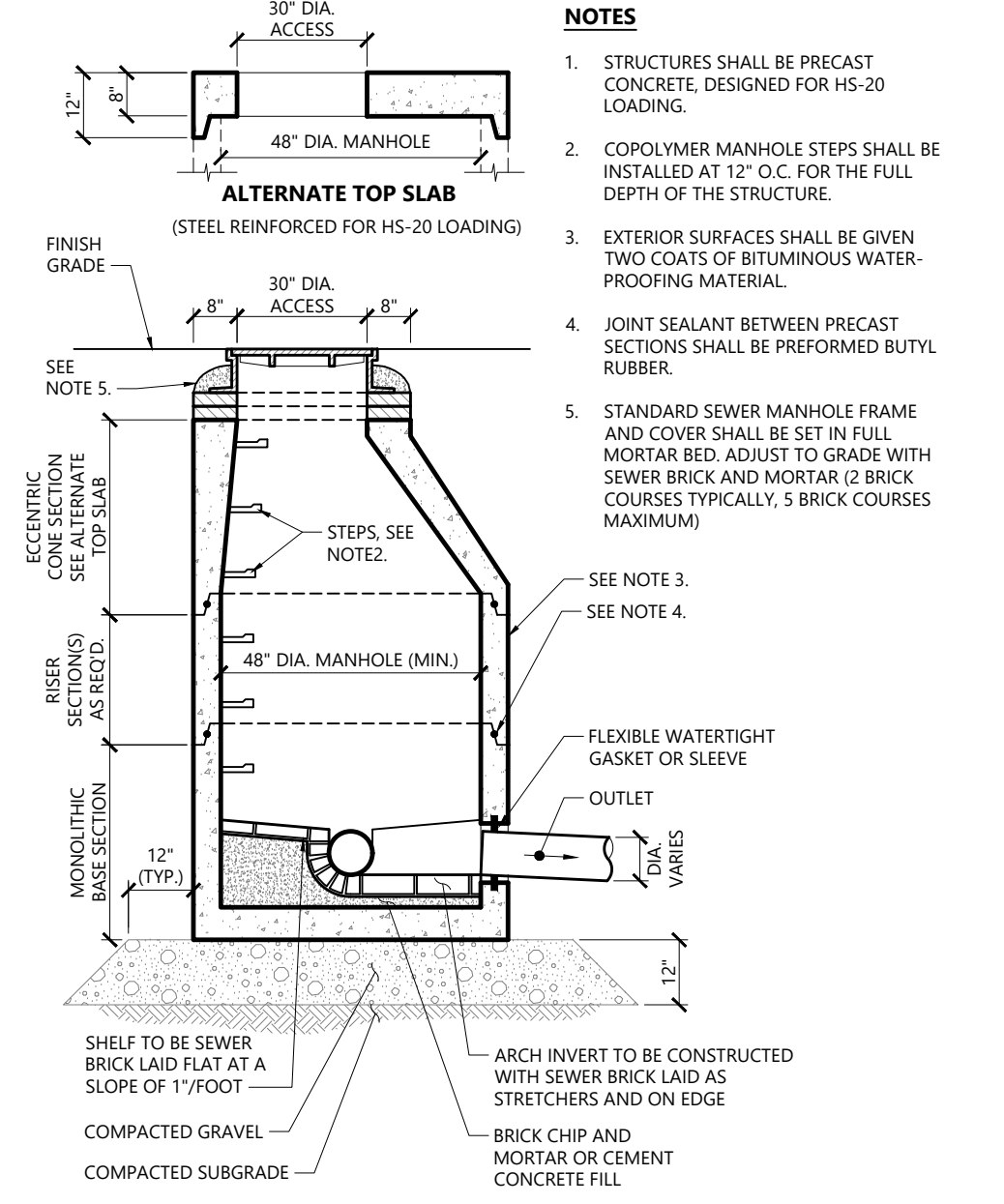
Catch Basin (CB) With Oil/Debris Trap 3/21
N.T.S. Source: VHB LD_101



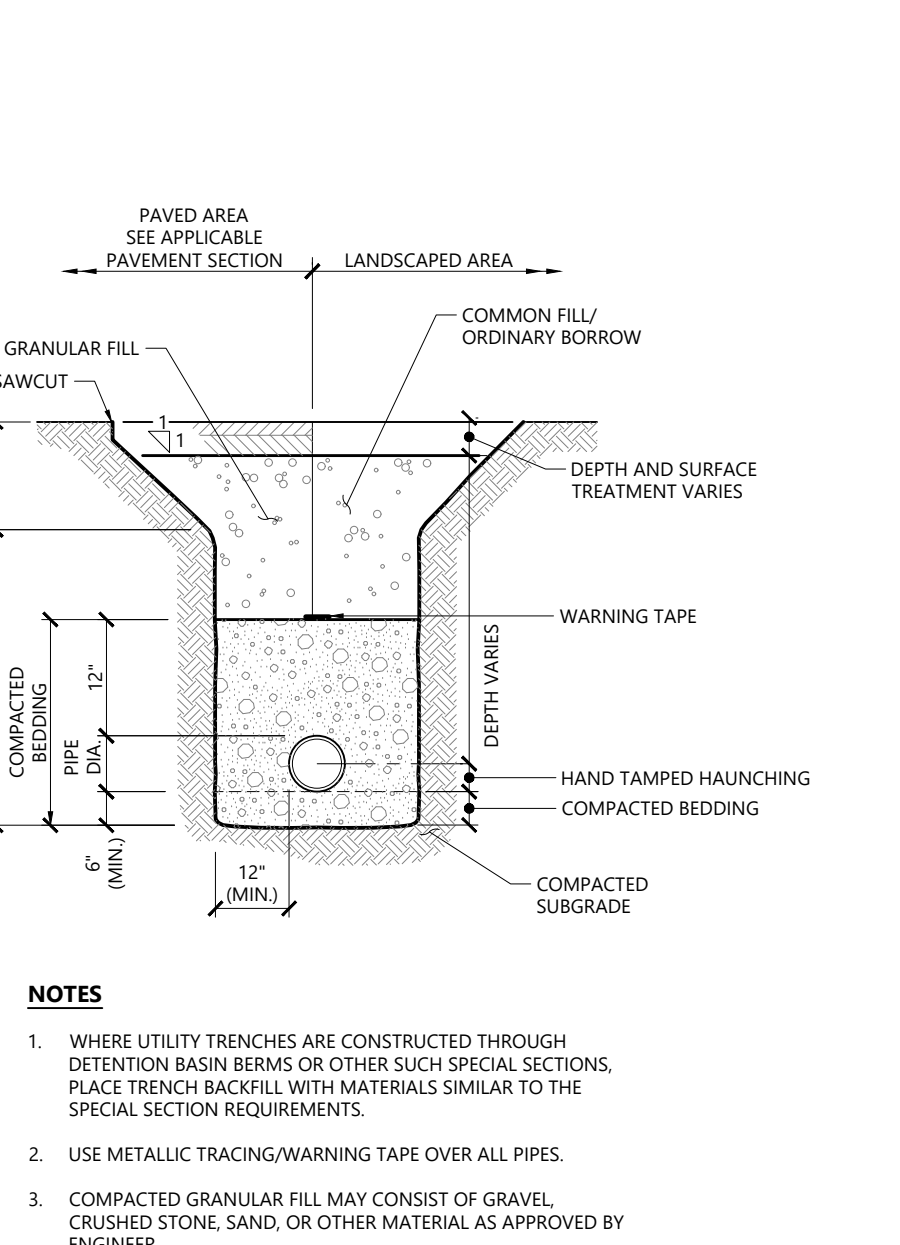
Vertical Granite Curb (VGC) 3/20
N.T.S. Source: VHB LD_402

- NOTES:**
- STRUCTURE SHALL BE DESIGNED FOR HS-20 LOADING.
 - COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 - EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATERPROOFING MATERIAL.
 - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
 - STANDARD SEWER MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).
 - STRUCTURE TO BE LOCATED OUTSIDE OF BUILDING WHERE POSSIBLE.
 - THE STRUCTURE SHALL BE SO LOCATED AND CONSTRUCTED THAT SURFACE WATER SHALL BE EXCLUDED.
 - INLET PIPE SHALL BE AT LEAST FOUR INCHES ABOVE NORMAL WATER LINE.
 - WHERE SUBJECT TO FROST OR CRUSHING CONDITIONS, OUTLET SHALL BE AT LEAST THREE FEET BELOW THE SURFACE.
 - THE NEW SEPARATOR MUST BE FILLED WITH CLEAN WATER BEFORE USING, AND AFTER BEING EMPTIED FOR PERIODIC CLEANING.
 - OIL AND GASOLINE MUST BE REMOVED BEFORE CLEANING OUT THE BASIN, AND MUST NOT BE DISCHARGED INTO THE STORM DRAIN THROUGH OTHER FIXTURES.
 - SPECIFICATIONS FOR COVERING SPECIAL CASES OR CONDITIONS, SHALL BE APPROVED BY THE LOCAL AUTHORITIES, AND THE AUTHORITIES OF THE M.W.R.A.
 - BOTH VENTS SHALL BE EXTENDED INDEPENDENTLY 18" ABOVE THE ROOF, OR AS APPROVED BY THE LOCAL AUTHORITIES, AND THE AUTHORITIES OF THE M.W.R.A.
 - ALL PIPING AND VENT MATERIAL TO BE EXTRA HEAVY CAST IRON OR DUCTILE IRON.
 - FINAL DESIGN OF OIL AND GAS SEPARATOR TO BE BY PLUMBING ENGINEER.
 - THE INSTALLATION OF OIL AND GAS SEPARATOR, THE PIPING TO AND 10 FEET BEYOND IS BY PLUMBER.

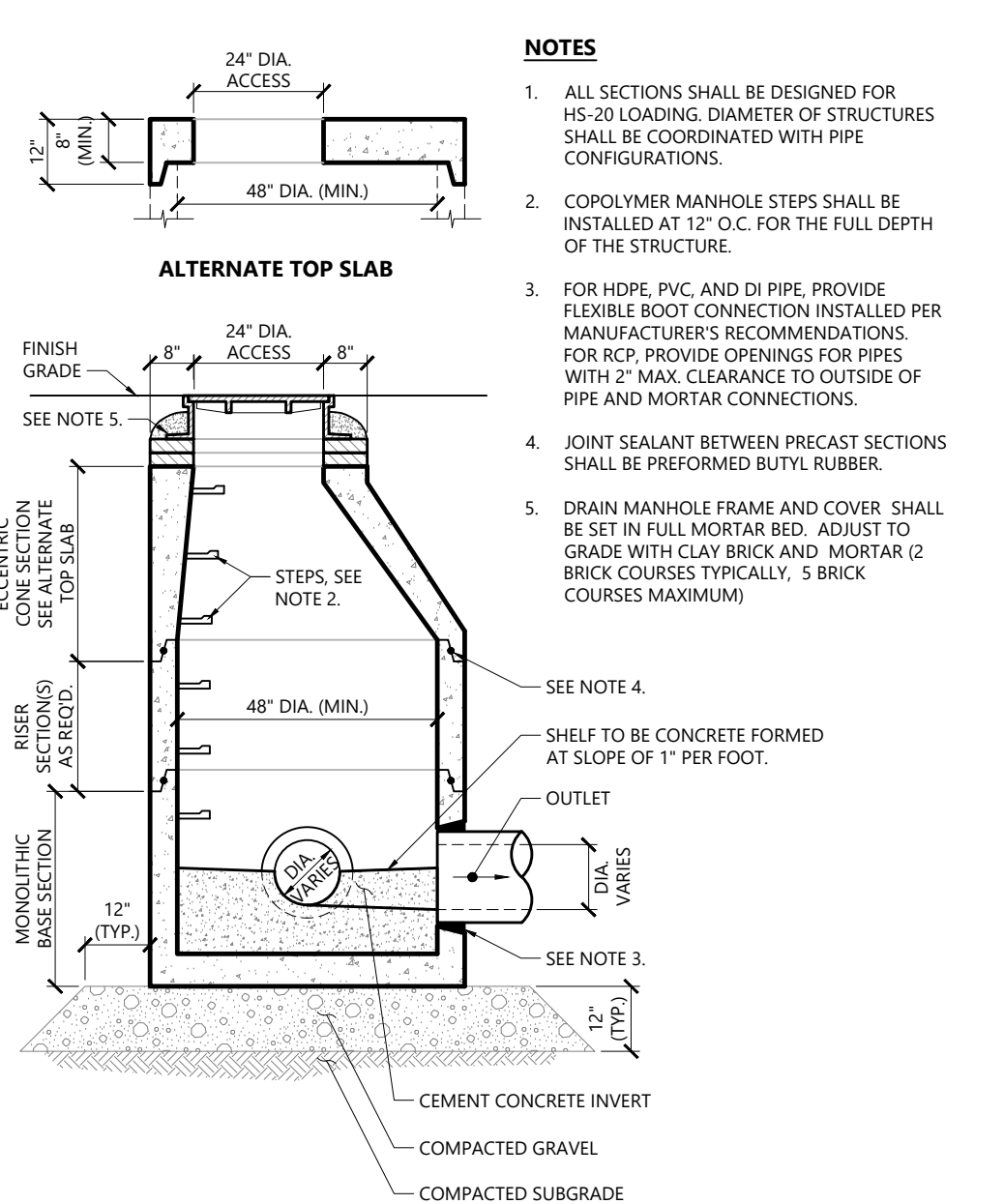
Sanitary Sewer Manhole (SMH) 1/16
N.T.S. Source: VHB LD_200



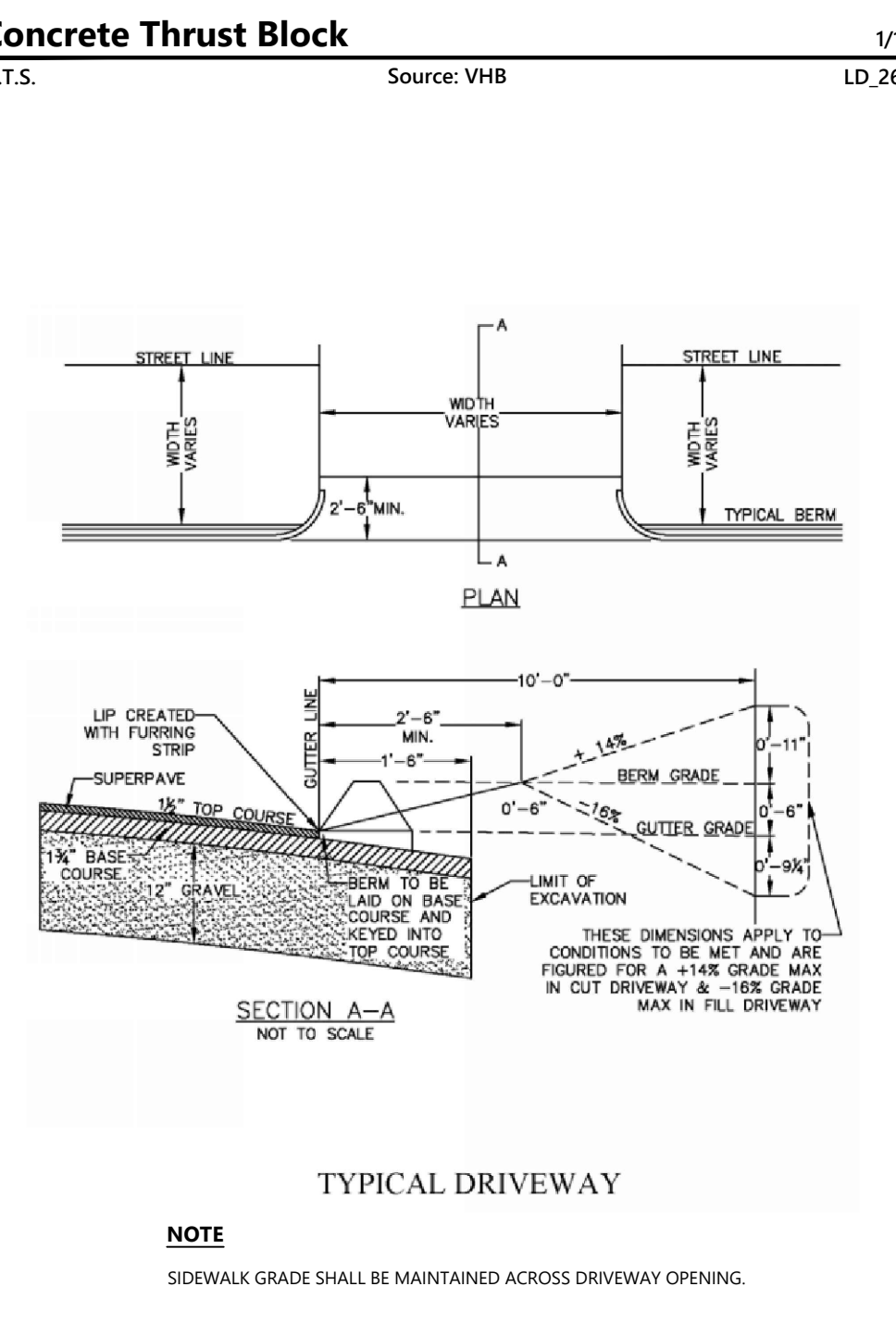
Sanitary Sewer Manhole (SMH) 1/16
N.T.S. Source: VHB LD_200



Utility Trench 11/19
N.T.S. Source: VHB LD_300



Drain Manhole (DMH) 11/19
N.T.S. Source: VHB LD_315



Typical Driveway 1/16
N.T.S. Source: City of Worcester LD_260

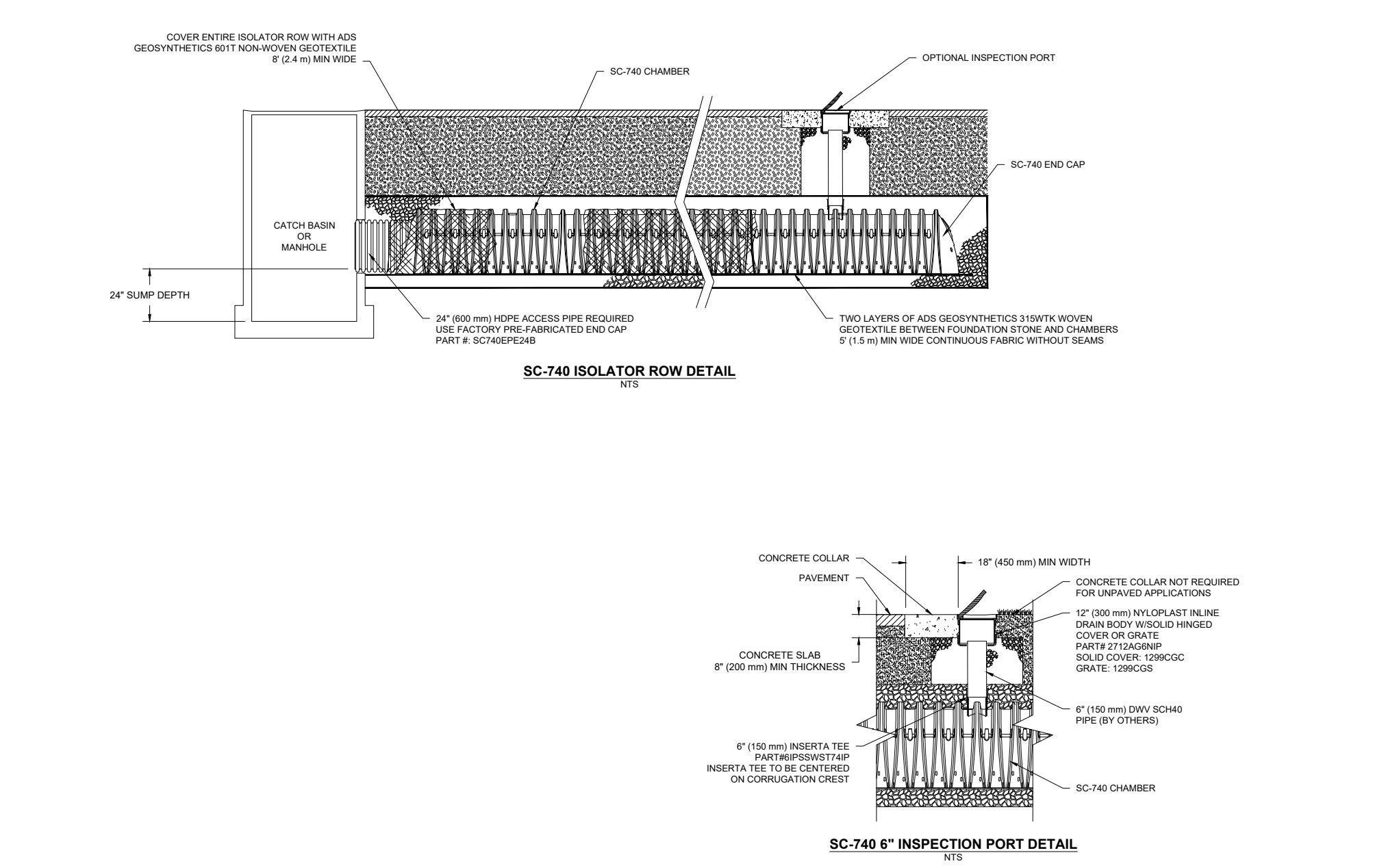
ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO MATERIAL CLASSIFICATIONS	COMPACTION / DENSITY REQUIREMENT
D	FINAL FILL: FILL MATERIAL FOR LAYER D STARTS FROM THE TOP OF THE C LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBGRADE MAY BE PART OF THE D LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEERS PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A
C	INITIAL FILL: FILL MATERIAL FOR LAYER C STARTS FROM THE TOP OF THE EMBEMENT STONE TO LAYERS TO 6" ABOVE ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBGRADE MAY BE PART OF THE C LAYER.	GRANULAR WELL-GRADED SOIL/AGGREGATE TEXTURES, <35% FINES OR PROCESSED AGGREGATE.	AASHTO M401 A1-A, A-1.5, A-3 OR AASHTO M407 3, 307, 4, 407, 5, 6, 9, 9.5, 10, 10.5, 11, 11.5, 12, 12.5, 13, 13.5, 14, 14.5, 15, 15.5, 16, 16.5, 17, 17.5, 18, 18.5, 19, 19.5
B	EMBEMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE (A LAYER) TO THE C LAYER ABOVE.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M407 3, 307, 4, 407, 5, 16, 17
A	FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.	CLEAN, CRUSHED, ANGULAR STONE	AASHTO M407 3, 307, 4, 407, 5, 16, 17

PLEASE NOTE:

- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR A STONE WOULD STATE, "CLEAN, CRUSHED, ANGULAR, 1.5" (38 mm) MAXIMUM SIZE STONE."
- STORMTECH CHAMBERS REQUIRE AASHTO M407 (3) OR M401 (A-3) MATERIALS. OTHER MATERIALS MAY BE USED IF APPROVED BY THE DESIGN ENGINEER.
- WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY ROLLING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNERS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.

StormTech SC-740 Isolator Row Profile 10/20
N.T.S. Source: StormTech LD_182-740



StormTech SC-740 Isolator Row Profile 10/20
N.T.S. Source: StormTech LD_182-740

Multifamily Development
10 Grosvenor Street
Worcester, MA

No.	Revision	Date	Appvd.
1	Address City Comments	08/30/2024	BMG

Designed by: CSH
Checked by: BMG
Issued for: _____
Date: _____

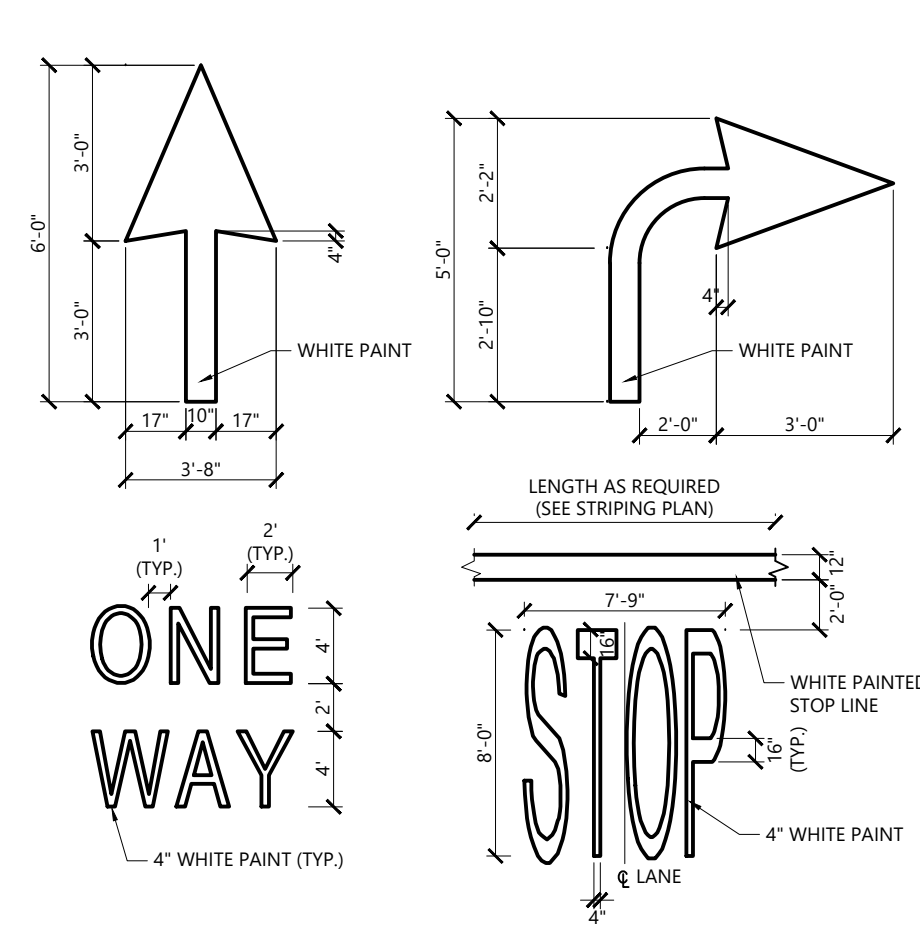
Local Approvals July 11, 2024

Not Approved for Construction
Drawing Title: **Site Details**
Drawing Number: _____

Professional Engineer Seal: BRITANNY GESNER, No. 52638, REGISTERED PROFESSIONAL ENGINEER, CIVIL, STATE OF MASSACHUSETTS.

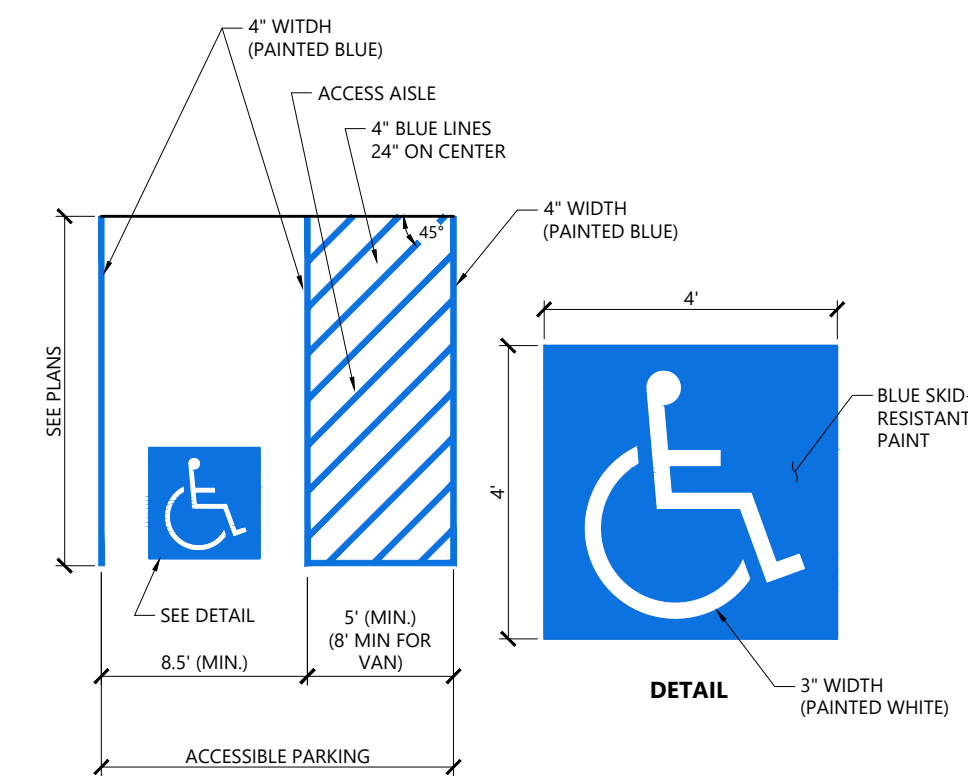
Sheet 3 of 5

Project Number: 16406.00



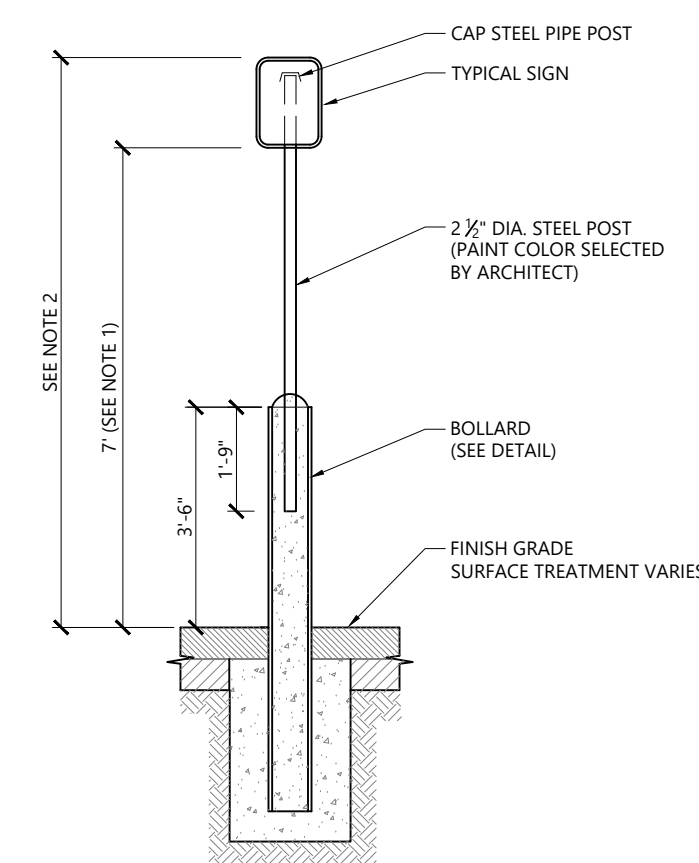
- NOTES**
- PAVEMENT MARKINGS TO BE INSTALLED FOR ON SITE WORK IN LOCATIONS SHOWN.

Painted Pavement Markings - On Site 1/16
N.T.S. Source: VHB LD_554



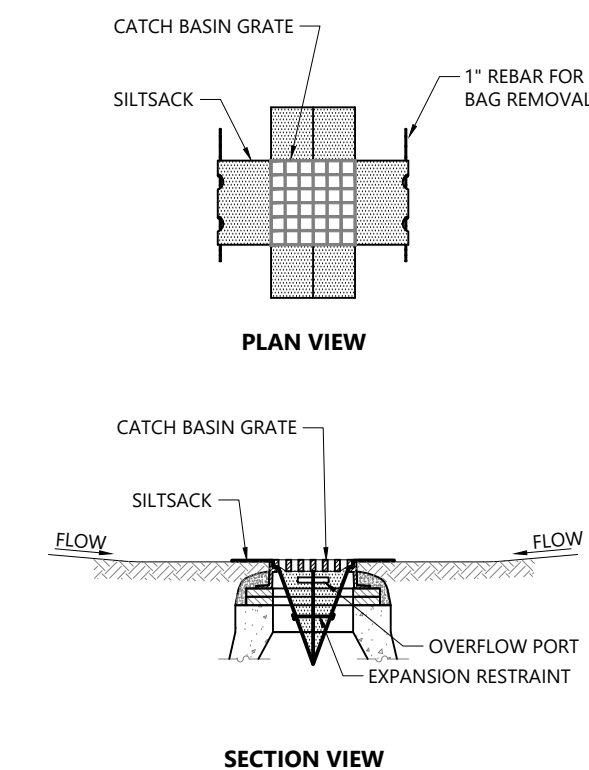
- NOTES**
- ALL DIMENSIONS TO CENTER OF 4" PAVEMENT STRIPING.
 - ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.

Accessible Parking Space 12/19
N.T.S. Source: VHB LD_552B



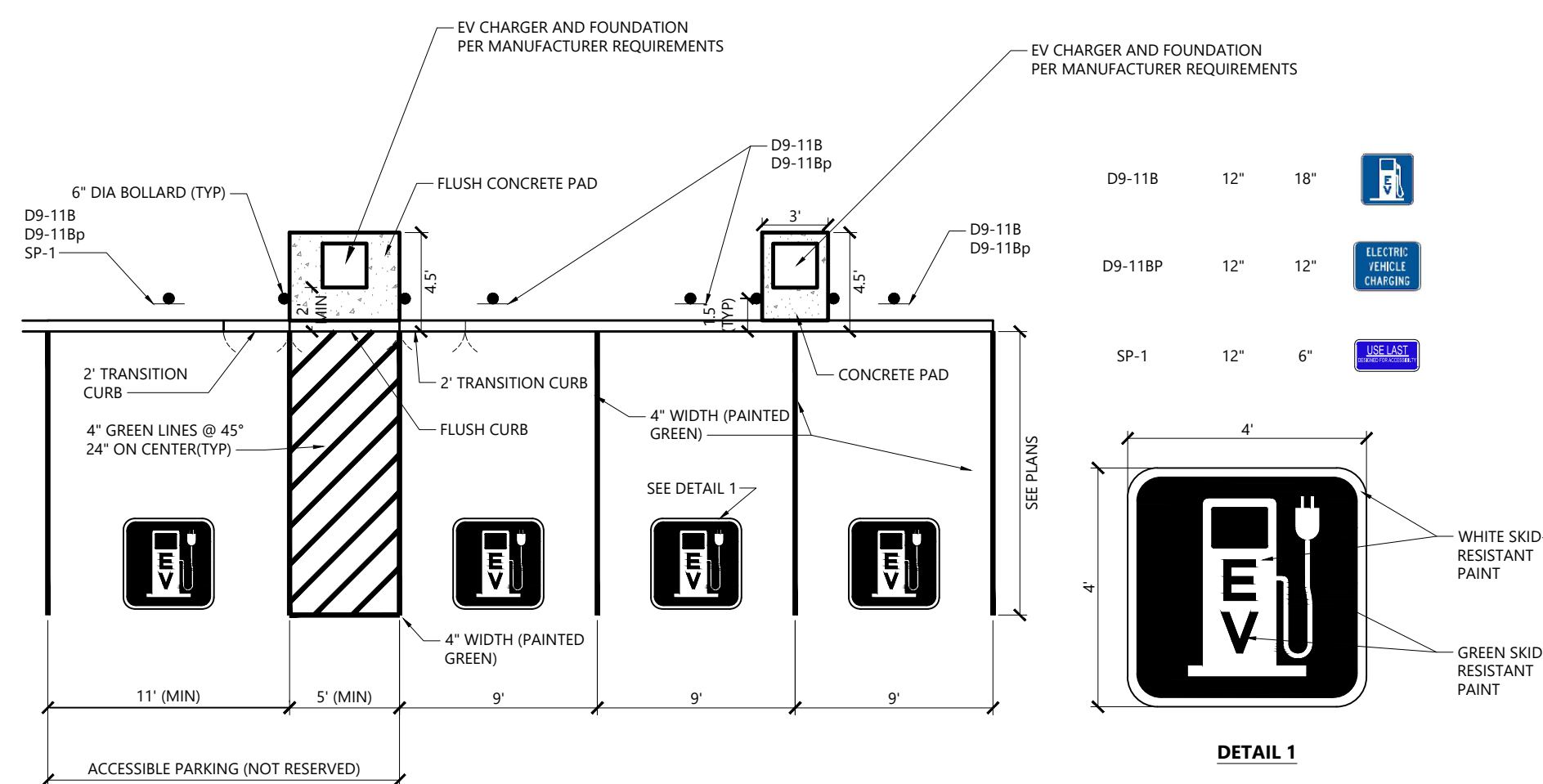
- NOTES**
- THIS DIMENSION SHALL BE A MINIMUM OF 5' FOR ACCESSIBLE SIGNAGE.
 - THIS DIMENSION SHALL BE A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE.

Bollard Mounted Sign 2/20
N.T.S. Source: VHB LD_703



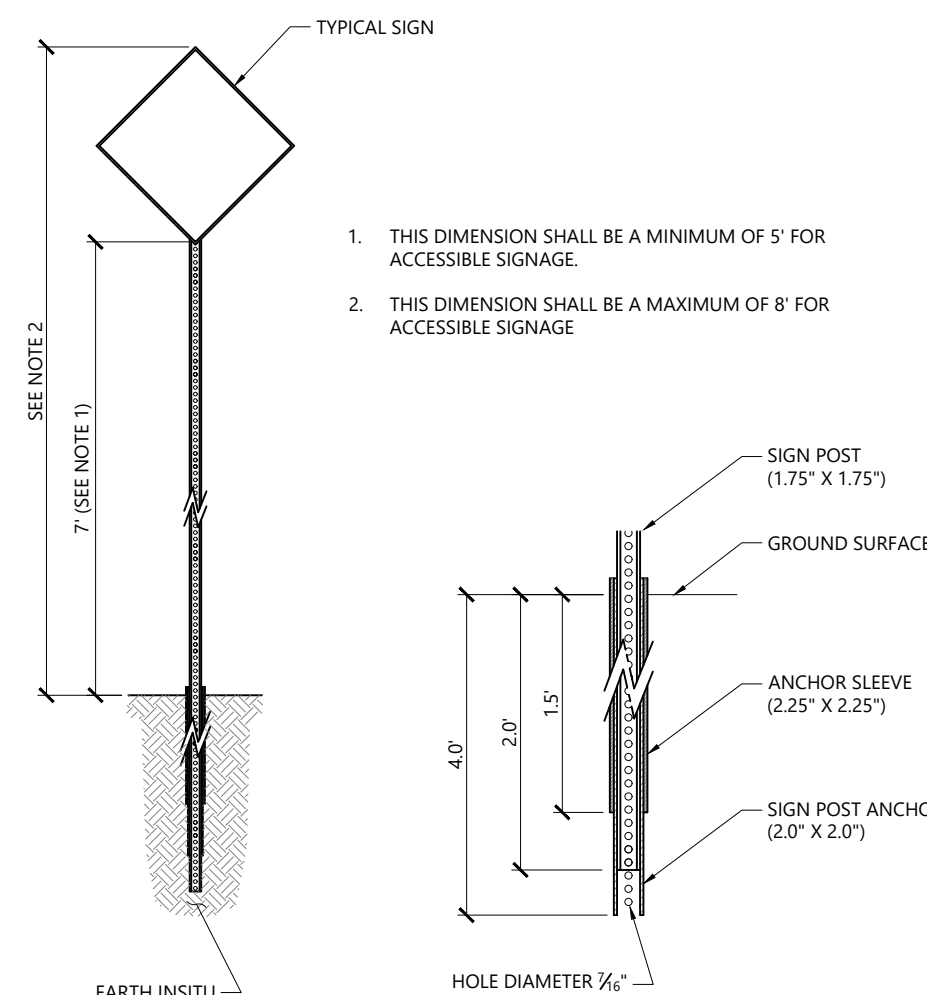
- NOTES**
- INSTALL SILT SOCK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND STRAW BALES HAVE BEEN REMOVED.
 - GRATE TO BE PLACED OVER SILT SOCK.
 - SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

Siltsock Sediment Trap 1/20
N.T.S. Source: VHB LD_674



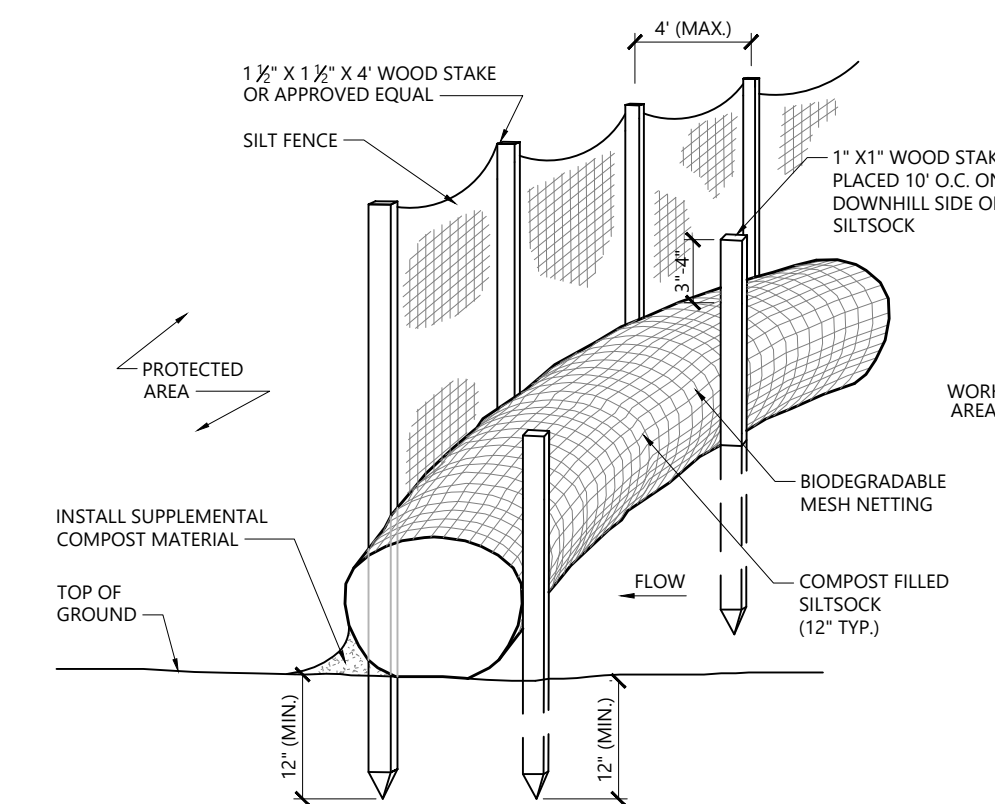
- NOTES**
- ALL DIMENSION TO CENTER OF STRIPING.
 - ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE SHALL NOT EXCEED 1.5%.

ELECTRIC VEHICLE CHARGING SPACES ADJACENT TO LANDSCAPE AREA 02/24
N.T.S. Source: VHB LD_772



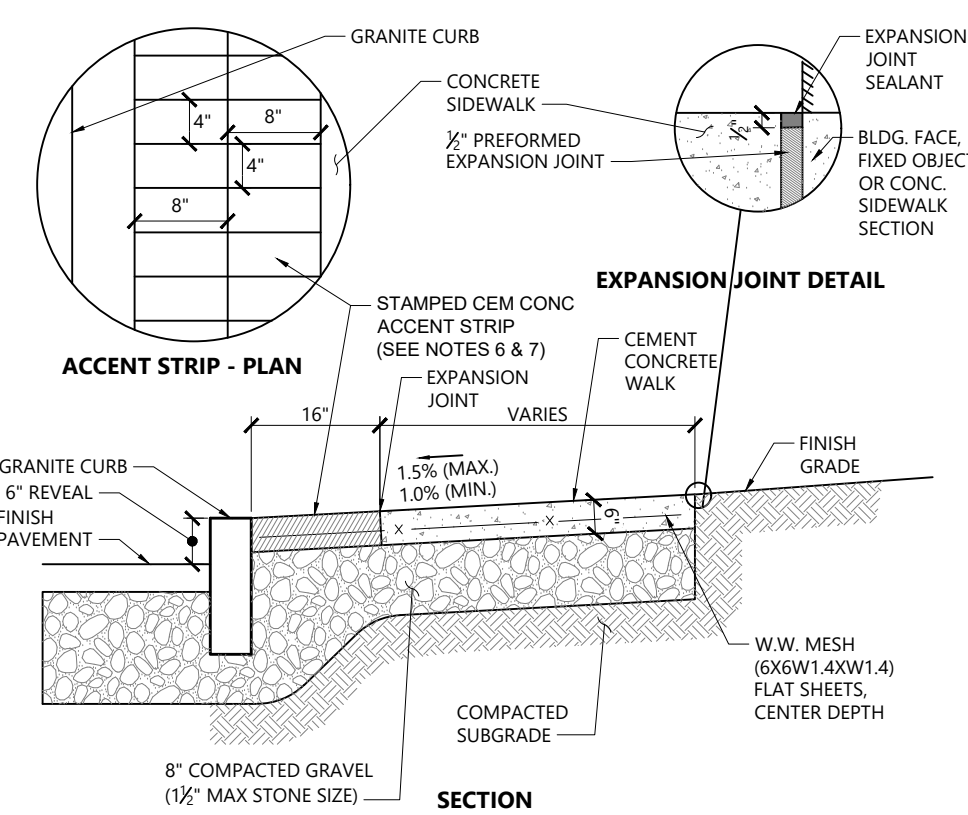
- NOTES**
- THIS DIMENSION SHALL BE A MINIMUM OF 5' FOR ACCESSIBLE SIGNAGE.
 - THIS DIMENSION SHALL BE A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE.

Sign Post - Type 'B' 3/19
N.T.S. Source: VHB LD_702



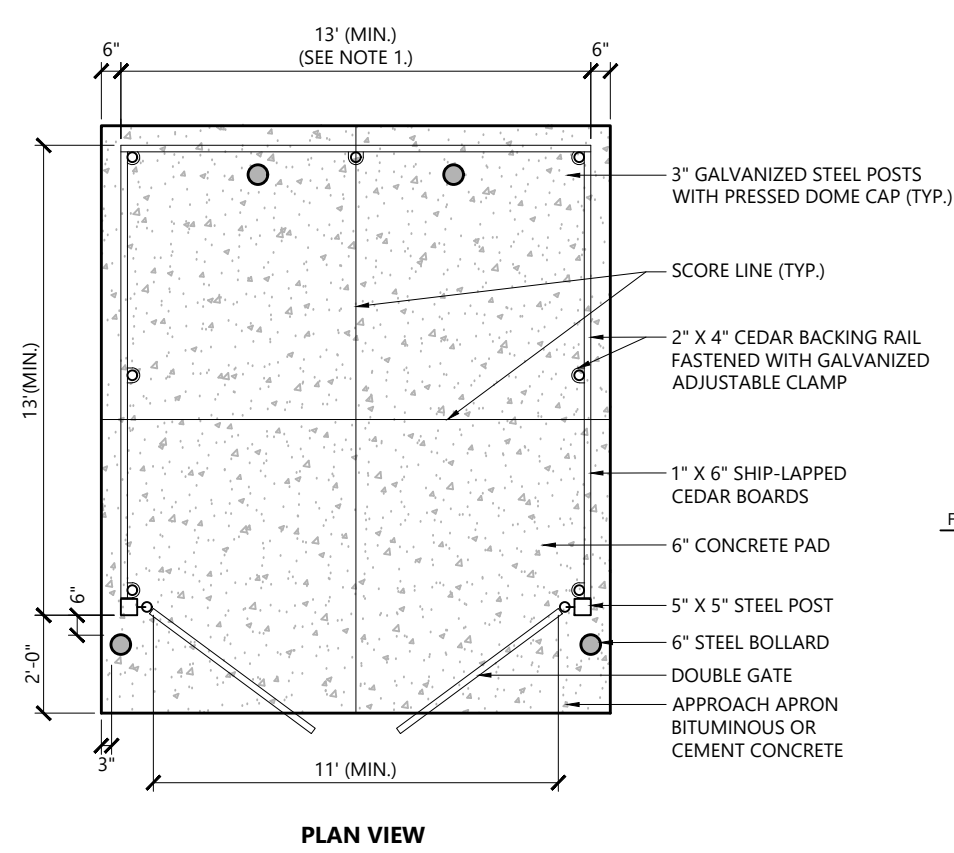
- NOTES**
- SILT SOCK SHALL BE FILTREXX SILT SOCK OR APPROVED EQUAL.
 - SILT SOCKS SHALL OVERLAP A MINIMUM OF 12 INCHES.
 - SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
 - UPON SITE STABILIZATION, COMPOST MATERIAL SHALL BE DISPersed ON SITE, AS DETERMINED BY THE ENGINEER.
 - IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFFSITE.

Siltsock / Silt Fence Barrier 10/20
N.T.S. Source: VHB LD_658-A



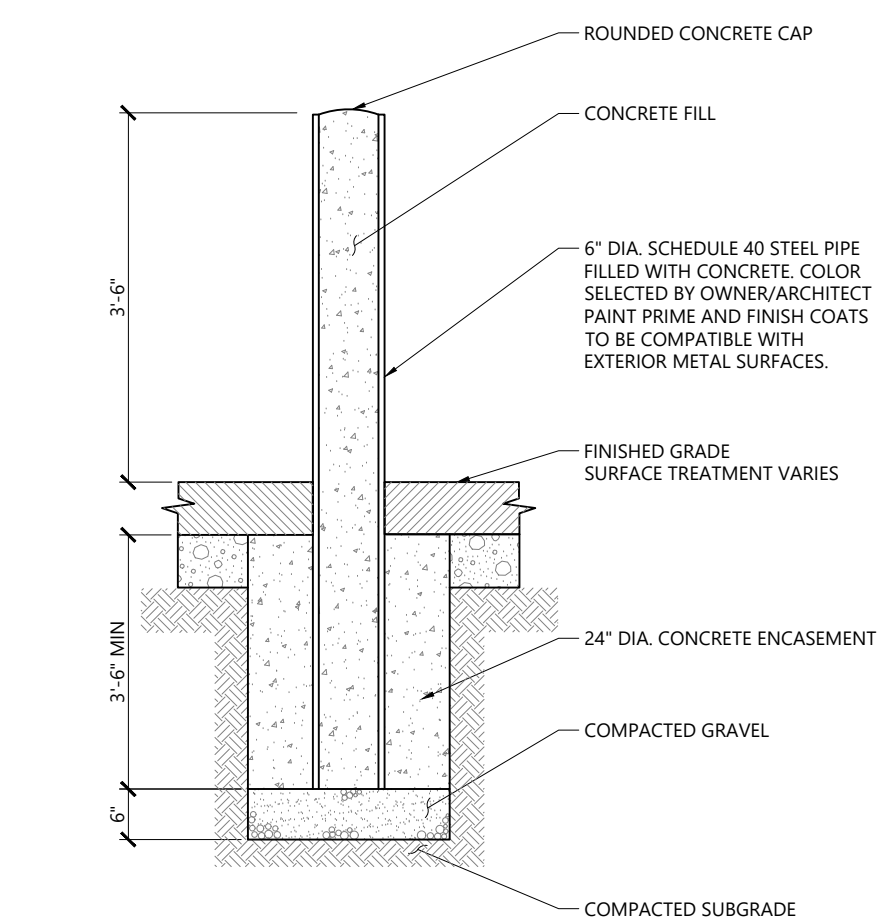
- NOTES**
- CONCRETE FOR SIDEWALKS TO BE 4000 PSI AND FOR DRIVEWAYS 5000 PSI. BOTH MIXES TO BE TYPE II, 6% (1.5%) AIR ENTRAINED.
 - PROVIDE EXPANSION JOINTS AT MIN. 30 FT. O.C. WITH PRE-FORMED EXPANSION JOINT FILLER & SEALER.
 - PROVIDE SAWCUT CONTROL JOINTS AT 6' O.C. OR AS NOTED ON PLANS.
 - PROVIDE MEDIUM BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB ON ALL CONCRETE WALK AREAS EXCEPT ACCENT STRIP.
 - ALL EXPOSED CONCRETE SURFACES SHALL BE SEALED WITH A SILANE-SILOXANE PRODUCT.
 - ACCENT STRIP SHALL BE CEMENT CONCRETE COLORED RED THROUGHOUT STAMP/IMPRINT WITH A BRICK PATTERN.
 - ACCENT STRIP SHALL BE FORMED AGAINST GRANITE CURB/CURB INLET AT THE FRONT. WOOD FORMING AT THE BACK AND SHALL BE PLACED PRIOR TO CEMENT CONCRETE WALK SURFACE OR SIDEWALK.

Concrete Sidewalk with Accent Strip 1/16
N.T.S. Source: VHB LD_713

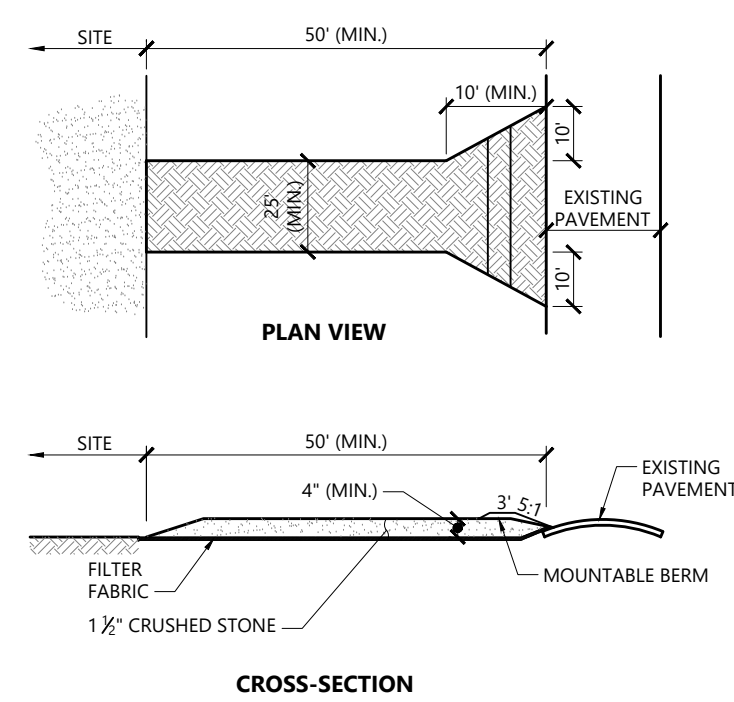


- NOTES**
- DUMPSTER PAD DIMENSIONS SHOWN AS MINIMUM. REFER TO PLAN FOR ACTUAL DIMENSION.
 - PAD DESIGNED FOR 6 YARD DUMPSTER.

Dumpster Pad w/ Enclosure 1/20
N.T.S. Source: VHB LD_713



Bollard 12/19
N.T.S. Source: VHB LD_700



- NOTES**
- EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
 - THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERMS SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
 - STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.

Stabilized Construction Exit 1/16
N.T.S. Source: VHB LD_682

Multifamily Development


10 Grosvenor Street
Worcester, MA

No.	Revision	Date	Appr.
1	Address City Comments	08/30/2024	BMG

Designed by CSH Checked by BMG
Issued for Date
Local Approvals July 11, 2024

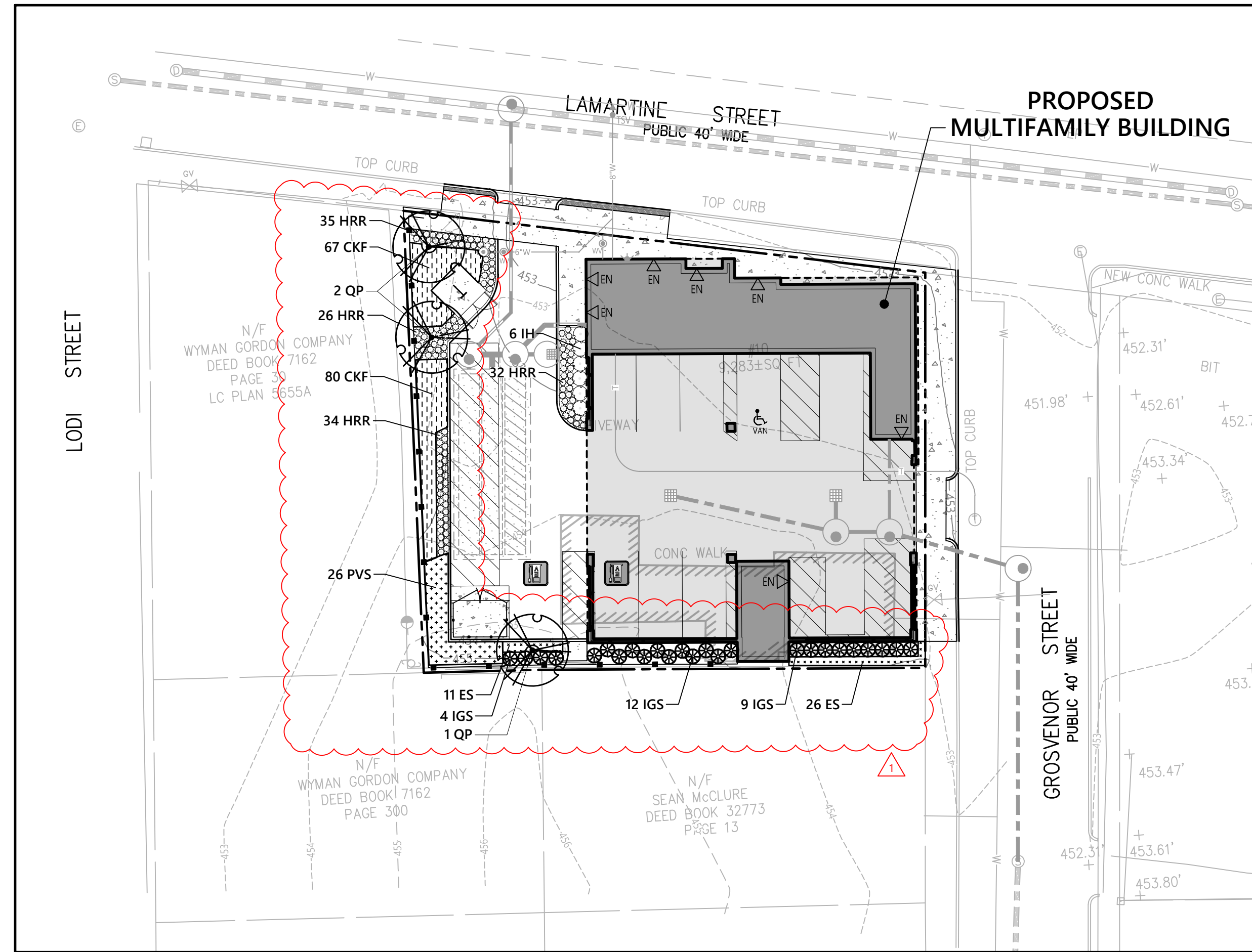
Not Approved for Construction Site Details

Drawing Title
Drawing Number
Sheet 4 of 5



BRITANY GESNER
No. 52638
REGISTERED PROFESSIONAL ENGINEER

C3.02
Sheet 4 of 5
Project Number 16406.00



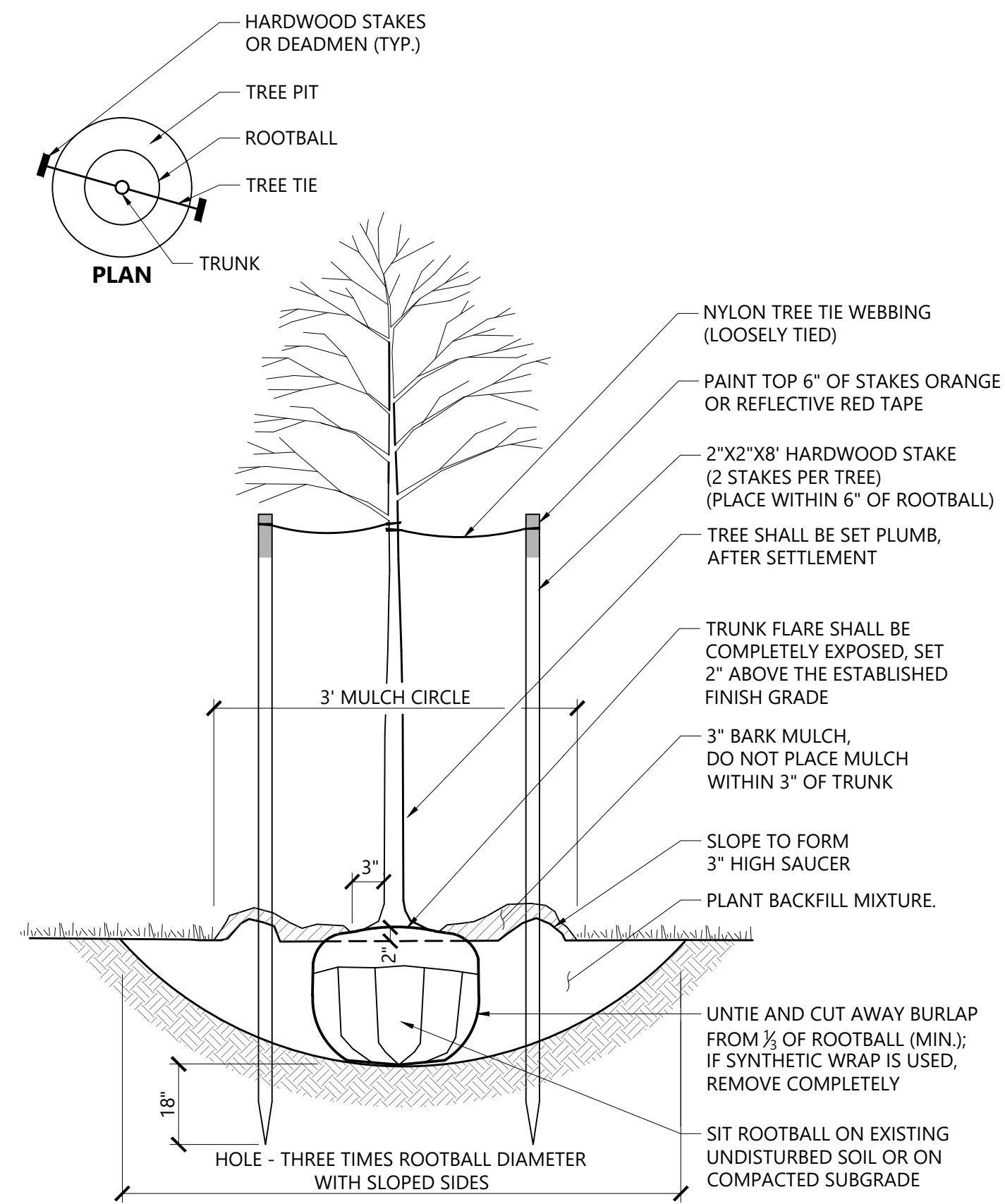
Planting Plan

Planting Notes

1. ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
2. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
3. NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
4. A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
5. ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
6. FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
7. ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
8. ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERMEN AND CONTRACT DOCUMENTS.
9. ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
10. AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
11. ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE LOAM AND SEEDED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
12. THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

Irrigation Notes

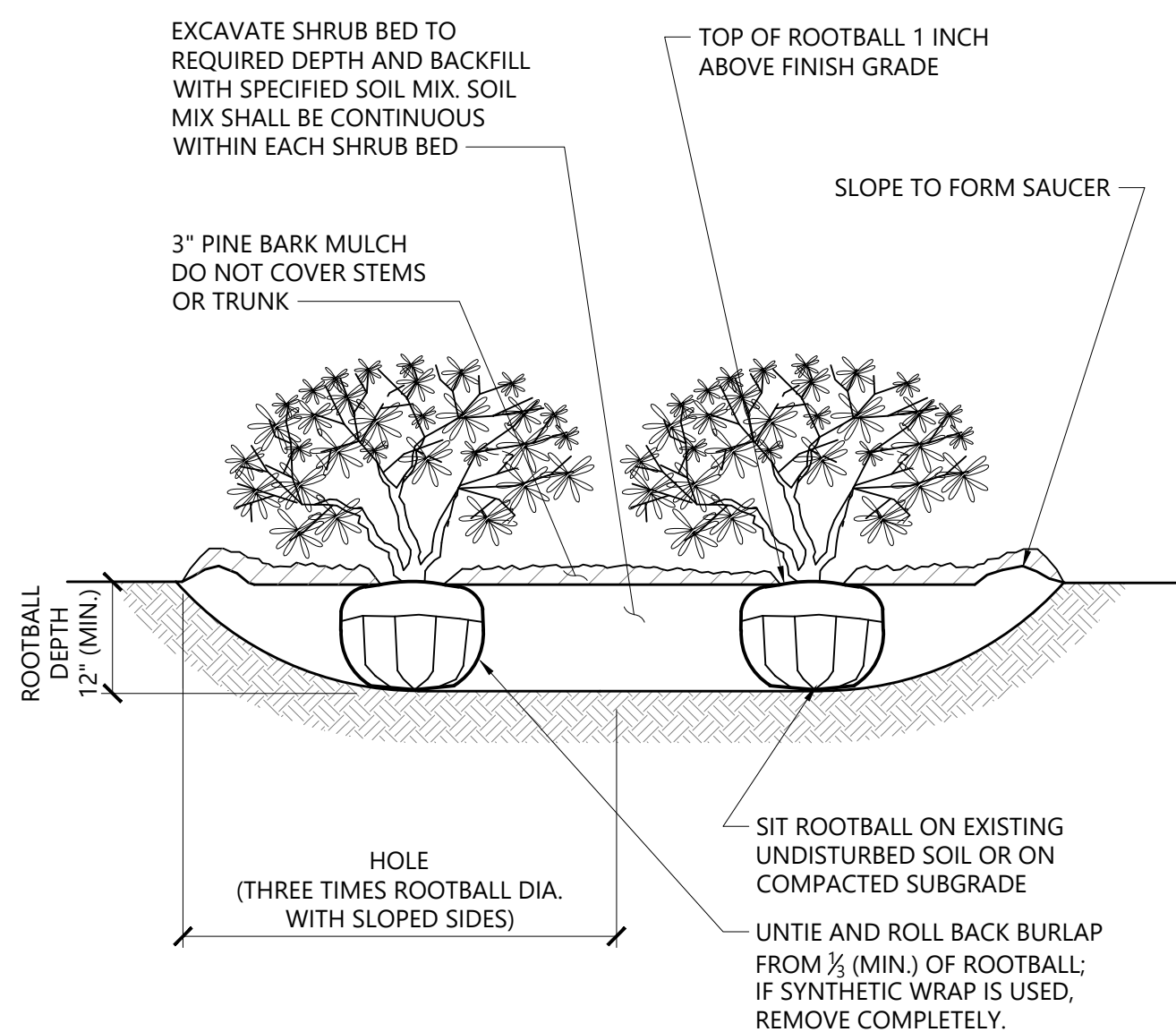
1. CONTRACTOR SHALL PROVIDE COMPLETE IRRIGATION SYSTEM DESIGN AND INSTALLATION FOR PLANTINGS AND LAWN AREAS. DESIGN SHALL BE CERTIFIED BY A PROFESSIONAL LANDSCAPE ARCHITECT, ENGINEER, OR CERTIFIED IRRIGATION DESIGNER. DESIGN PLANS SHALL BE SUBMITTED TO OWNER'S REPRESENTATIVE FOR APPROVAL.
2. CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE INSTALLATION OF THE IRRIGATION SYSTEM.
3. CONTRACTOR SHALL PROVIDE DRAWINGS, MATERIAL SPECIFICATIONS, SCHEMATICS, AND OTHER LITERATURE AS MAY BE REQUIRED, FOR ALL CONDUIT, CONTROLS, TIMERS, VALVES, SPRINKLER HEADS, CONNECTORS, WIRING, RAIN GAUGE, ETC. TO THE OWNER'S CONSTRUCTION MANAGER FOR APPROVAL PRIOR TO INSTALLATION.
4. CONTRACTOR SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND SUB CONTRACTORS.
5. BACKFLOW PREVENTER AND METER IS REQUIRED. IT SHALL BE IN CONFORMANCE WITH STATE AND MUNICIPAL REQUIREMENTS.
6. IRRIGATION CONTROL PANEL, BACKFLOW PREVENTER AND METER SHALL BE LOCATED IN THE BUILDING MECHANICAL ROOM. COORDINATE WITH THE GENERAL CONTRACTOR.
7. SITE CONTRACTOR SHALL PROVIDE 4" SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT TO PROVIDE ACCESS FOR IRRIGATION LINES TO ALL IRRIGATED AREAS.



Tree Planting (For Trees Under 4" Caliper)

N.T.S. Source: VHB 9/21 LD_602

PLANT SCHEDULE					
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE
DECIDUOUS TREES					
	QP	3	Quercus palustris 'Pringreen'	Green Pillar® Pin Oak	2 - 2 1/2" CAL.
SHRUBS					
	IH	6	Ilex crenata 'Helleri'	Heier Japanese Holly	18 - 24" HT. 36" o.c.
	IGS	25	Ilex glabra 'Shamrock'	Shamrock Inkberry	18 - 24" HT. 36" o.c.
PERENNIALS					
	HRR	127	Hemerocallis x 'Rosy Returns'	Rosy Returns Daylily	#1 POT 18" o.c.
ORNAMENTAL GRASSES					
	CKF	147	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 POT 18" o.c.



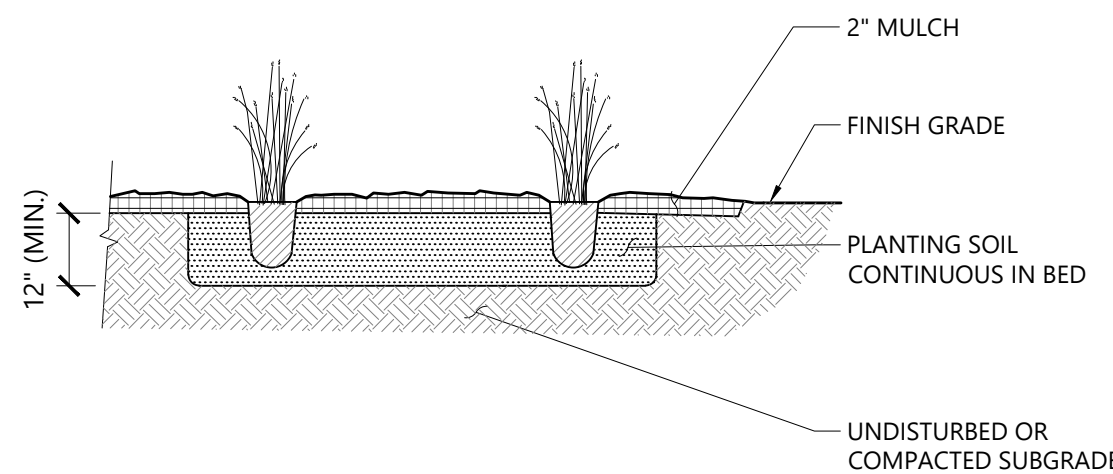
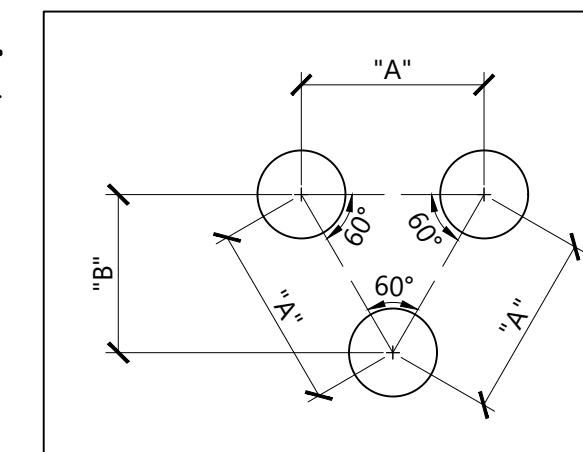
NOTES

1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

Shrub Bed Planting

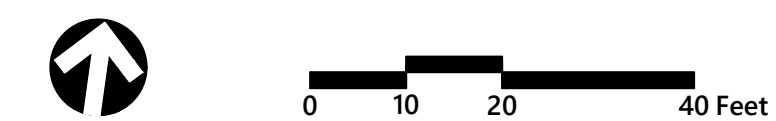
N.T.S. Source: VHB 1/16 LD_601

PLANT SPACING	
PLANT SPACING("A")	ROW SPACING("B")
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8 1/2 IN. O.C.
12 IN. O.C.	10 1/2 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.
24 IN. O.C.	21 IN. O.C.
30 IN. O.C.	26 IN. O.C.
36 IN. O.C.	30 IN. O.C.
48 IN. O.C.	42 IN. O.C.
54 IN. O.C.	48 IN. O.C.
60 IN. O.C.	54 IN. O.C.



Perennial and Ornamental Grass Planting

N.T.S. Source: VHB 9/21 LD_602



Multifamily Development

10 Grosvenor Street
Worcester, MA

No.	Revision	Date	Appr'd.
1	Address City Comments	08/30/2024	BMG

Designed by SC Checked by MK
Issued for SC Date

Local Approvals July 11, 2024

Not Approved for Construction

Planting Plan and Details

Drawing Number



L1.01

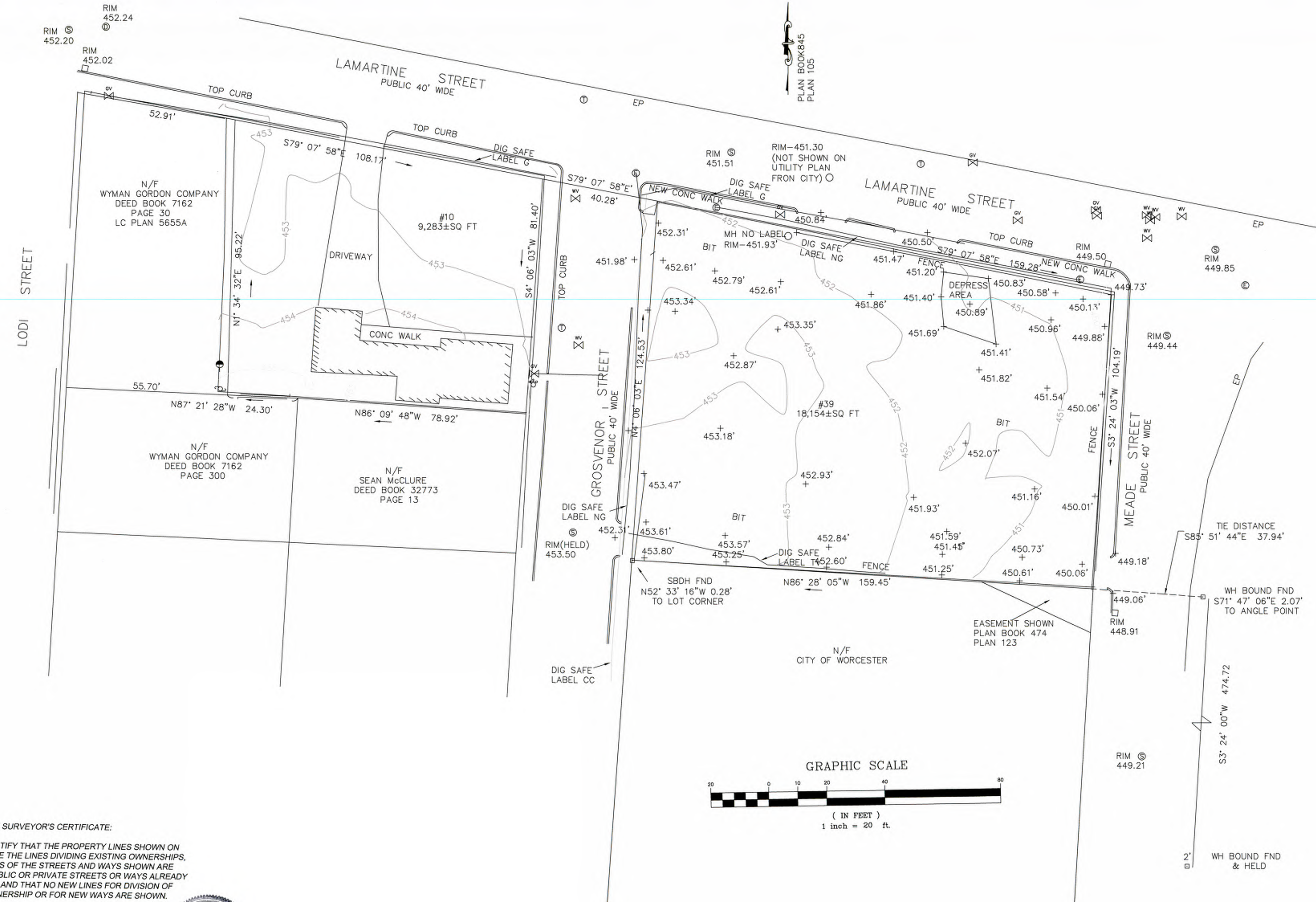
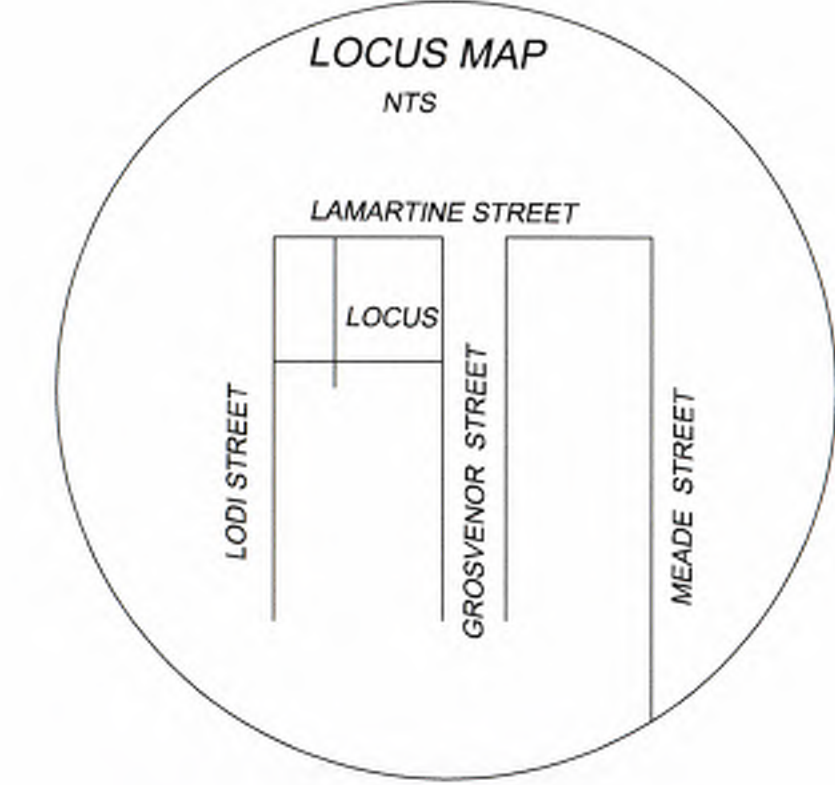
Sheet 5 of 5

Project Number 16406.00

PLAN REFERENCES

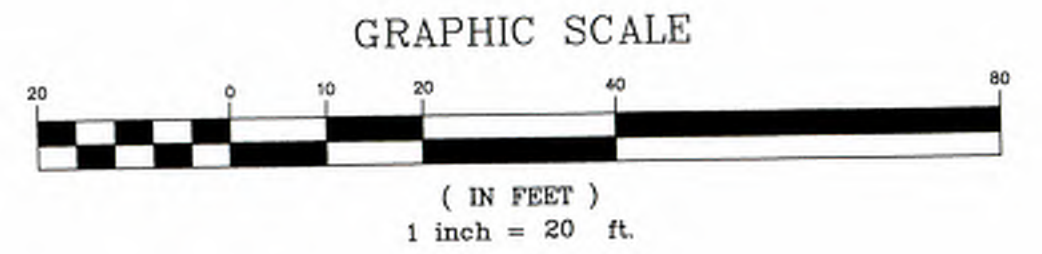
PLAN BOOK 474 PLAN 123
 PLAN BOOK 842 PLAN 40
 PLAN BOOK 845 PLAN 105
 LAND COURT PLAN 5655A

CITY OF WORCESTER PLANS
 LAMARTINE STREET (H-15 6741-1)
 MEADE STREET (H-9286)
 GROSVENOR STREET (H-9323)
 LODI STREET



- NOTES**
- 1.) DATUM TAKEN FROM SMH ON UTILITY PLAN FROM CITY OF WORCESTER
 - 2.) CONSTRUCTION ON LOTS OR LAND IS SUBJECT TO ANY EASEMENTS, RIGHT OF WAYS, RESTRICTION RESERVATIONS OR LIMITATIONS ON RECORD
 - 3.) UTILITIES SHOWN ARE FROM FIELD LOCATIONS IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER AND THE CONTRACTOR TO VERIFY THE SIZE, ELEVATION AND LOCATION, AND TO CONTACT "DIG-SAFE" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION, DEMOLITION OR CONSTRUCTION

OWNER OF RECORD
 39 LAMARTINE STREET LLC
 DEED BOOK 66121 PAGE 389
 10 GROSVENOR STREET
 DANIEL YARNIE
 DEED BOOK 69833
 PAGE 270



MGL C41 S81X SURVEYOR'S CERTIFICATE:
 I HEREBY CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF THE STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

2/27/24
 DATE SURVEYOR *Henry A. Gaudin*

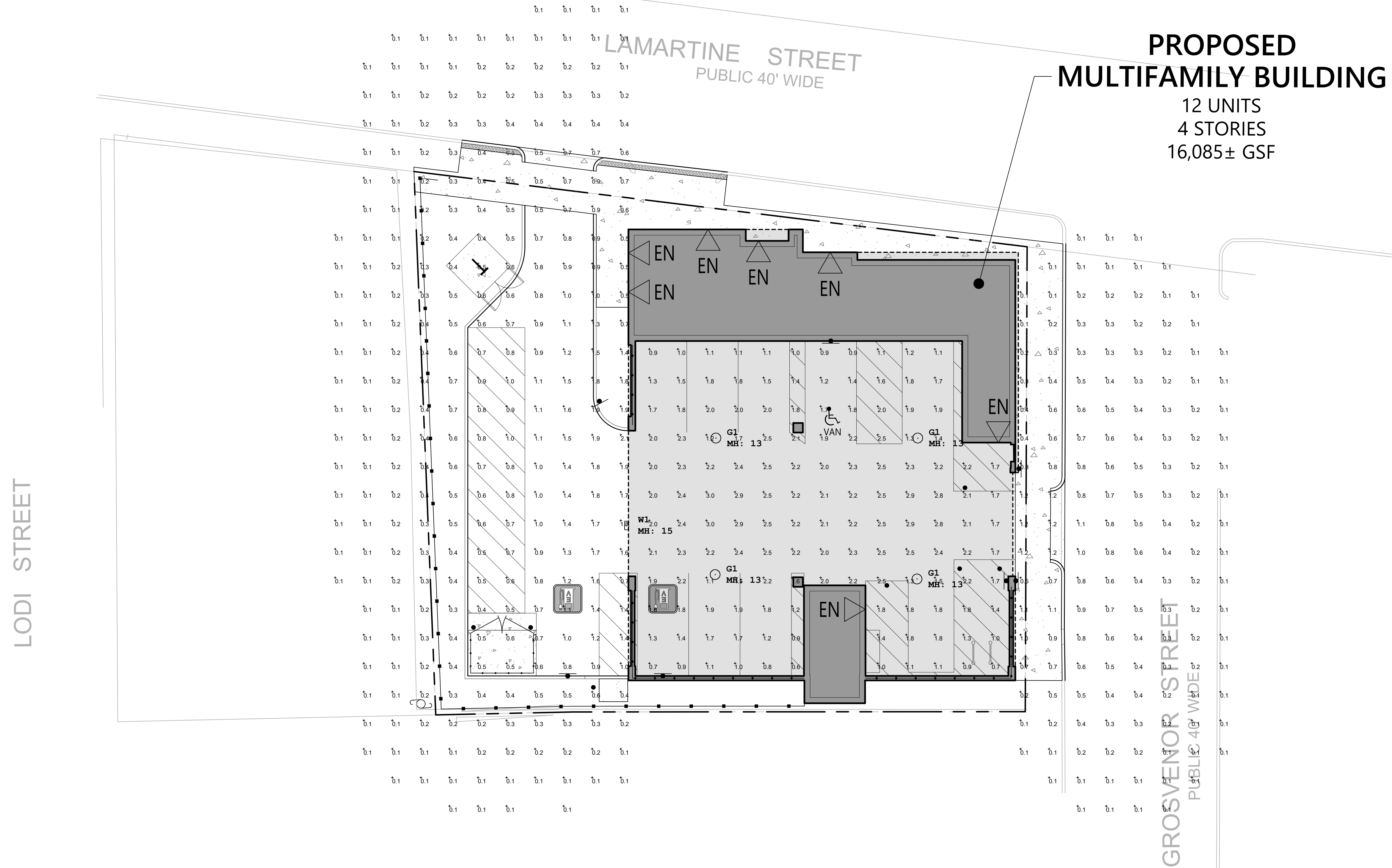
PLAN OF LAND
 10 GROSVENOR STREET
 39 LAMARTINE STREET
 WORCESTER, MA

PREPARED FOR: DANIEL AND REBECCA YARNIE
 FEBRUARY 24, 2024 SCALE 1" = 20'

GEO / NETWORK LAND SURVEY, INC.
 645 CHANDLER STREET SUITE 7
 WORCESTER, MASSACHUSETTS 01610
 508-755-7003 FAX 508-755-8003

Luminaire Schedule					
Qty	Label	Arr. Watts	Arrangement	LLF	Description
4	G1	22.6	SINGLE	0.900	SRT1-20-3K7-5QW-UNV
2	W1	14.5	SINGLE	0.900	RWL1-48L-15-3K7-4W-U
1	W2	10.1	SINGLE	0.900	RWL1-48L-10-3K7-3-U

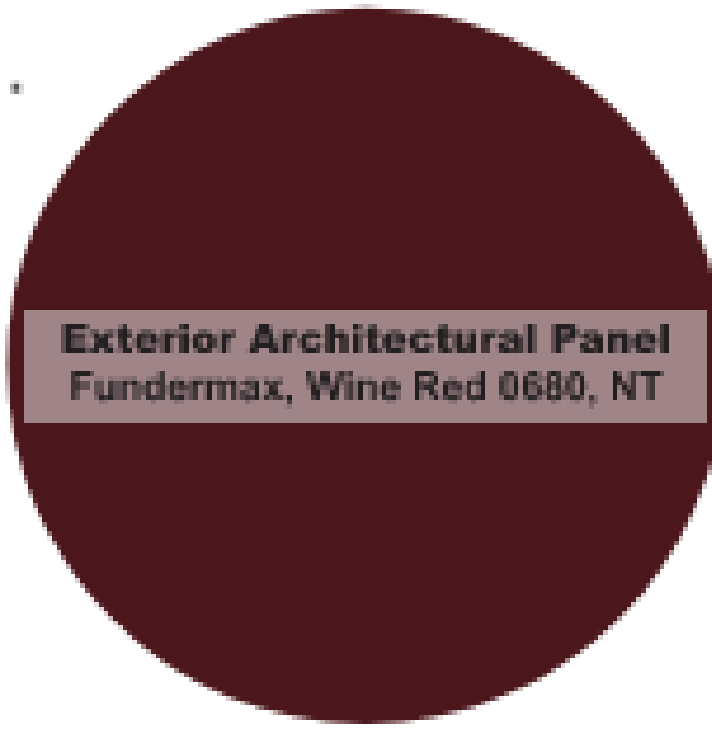
Calculation Summary						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
Site	Fc	0.38	3.0	0.0	N.A.	N.A.



**PROPOSED
MULTIFAMILY BUILDING**
12 UNITS
4 STORIES
16,085± GSF

Project: 10 Grosvenor Street - Site	
Contact: Steve Johnson Applications Specialist (603) 490-2446 sjohnson@illuminatene.com	Detail: Photometric Calculation Date: 08/30/2024 Revision: ---- Scale: 1" = 10'-0" Drawn By: SHJ
Drawing Number: L-1	
illuminatene 263 Winn Street Burlington, MA 01803 (781) 935-8500 333 Pleasant Valley Road South Windsor, CT 06074 (860) 282-0597	
Sheet 1 of 1	

1.



2.



3.



4.



10 GROSVENOR STREET

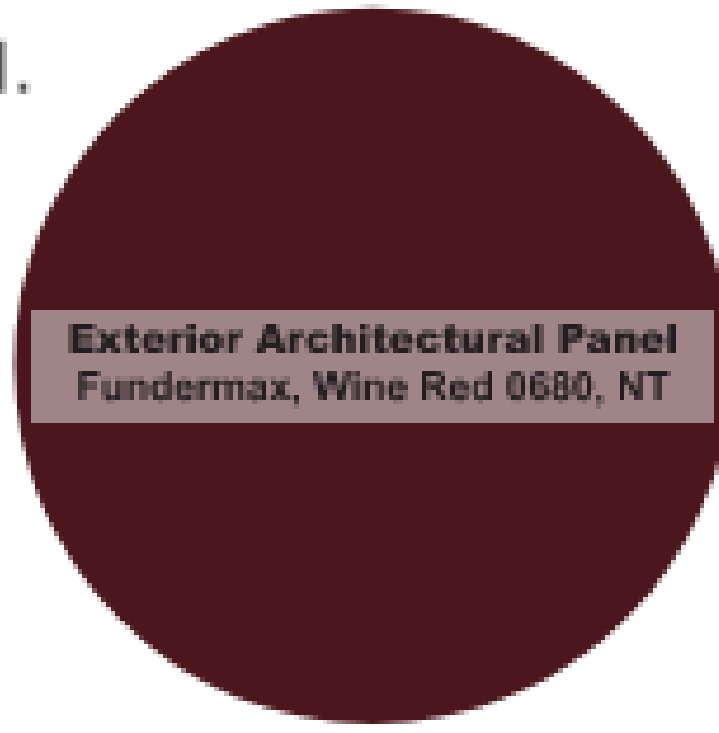
PERSPECTIVE

AUGUST 30, 2024

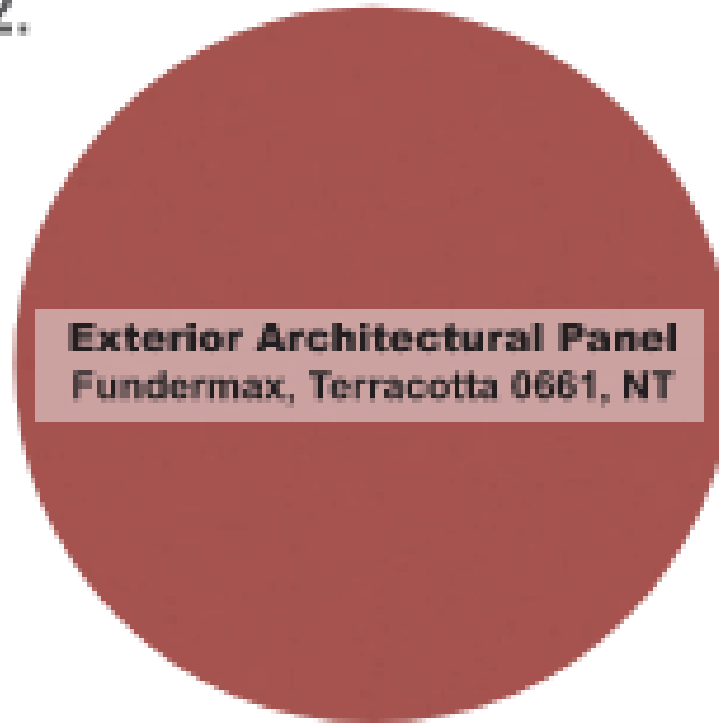
10 Grosvenor St.
Worcester, MA 01610

Shaping the Exceptional / 200 Ayer Road / Suite 200 / Harvard, MA 01451 / 978 458 2800

1.



2.



3.



4.



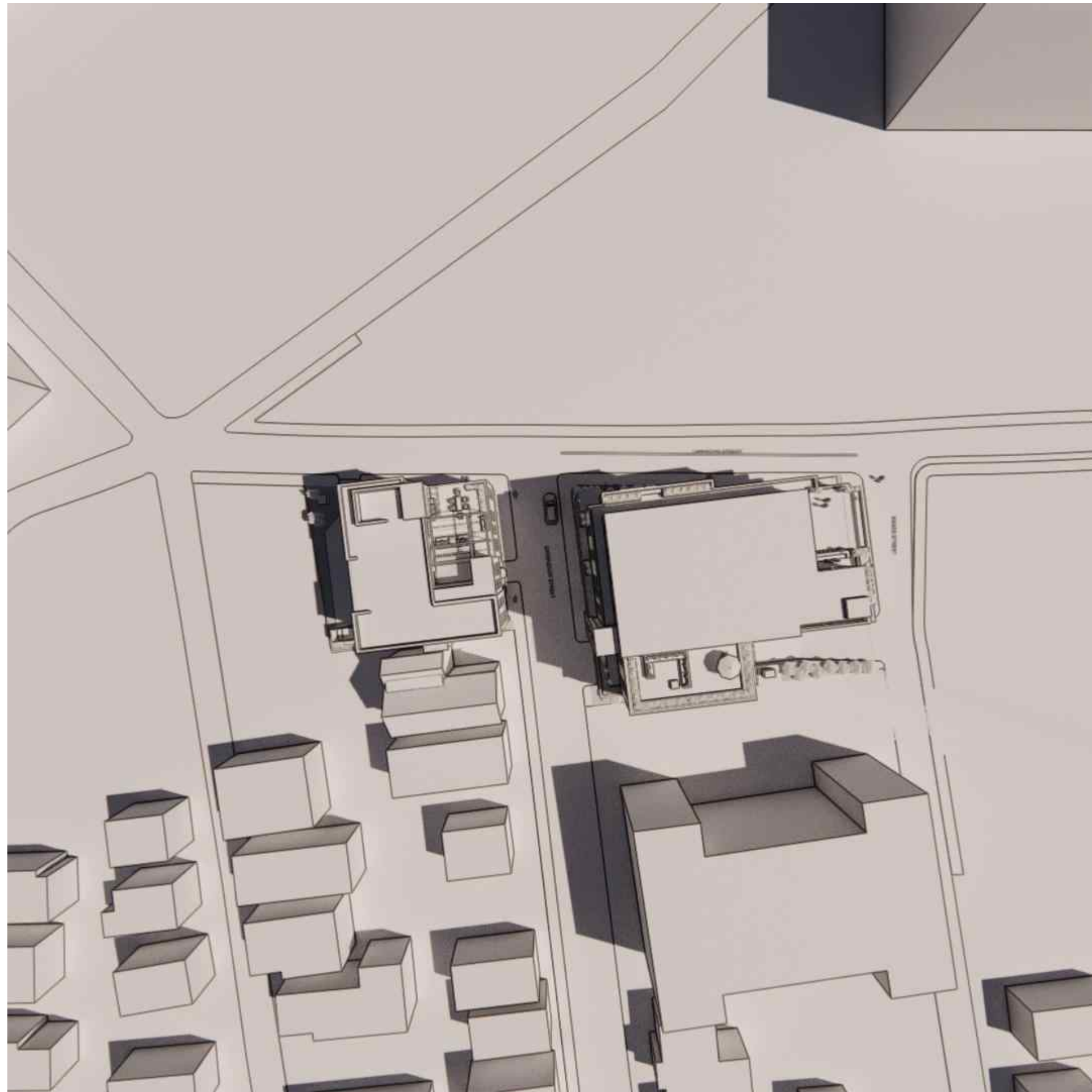
10 GROSVENOR STREET

PERSPECTIVE

AUGUST 30, 2024

10 Grosvenor St.
Worcester, MA 01610

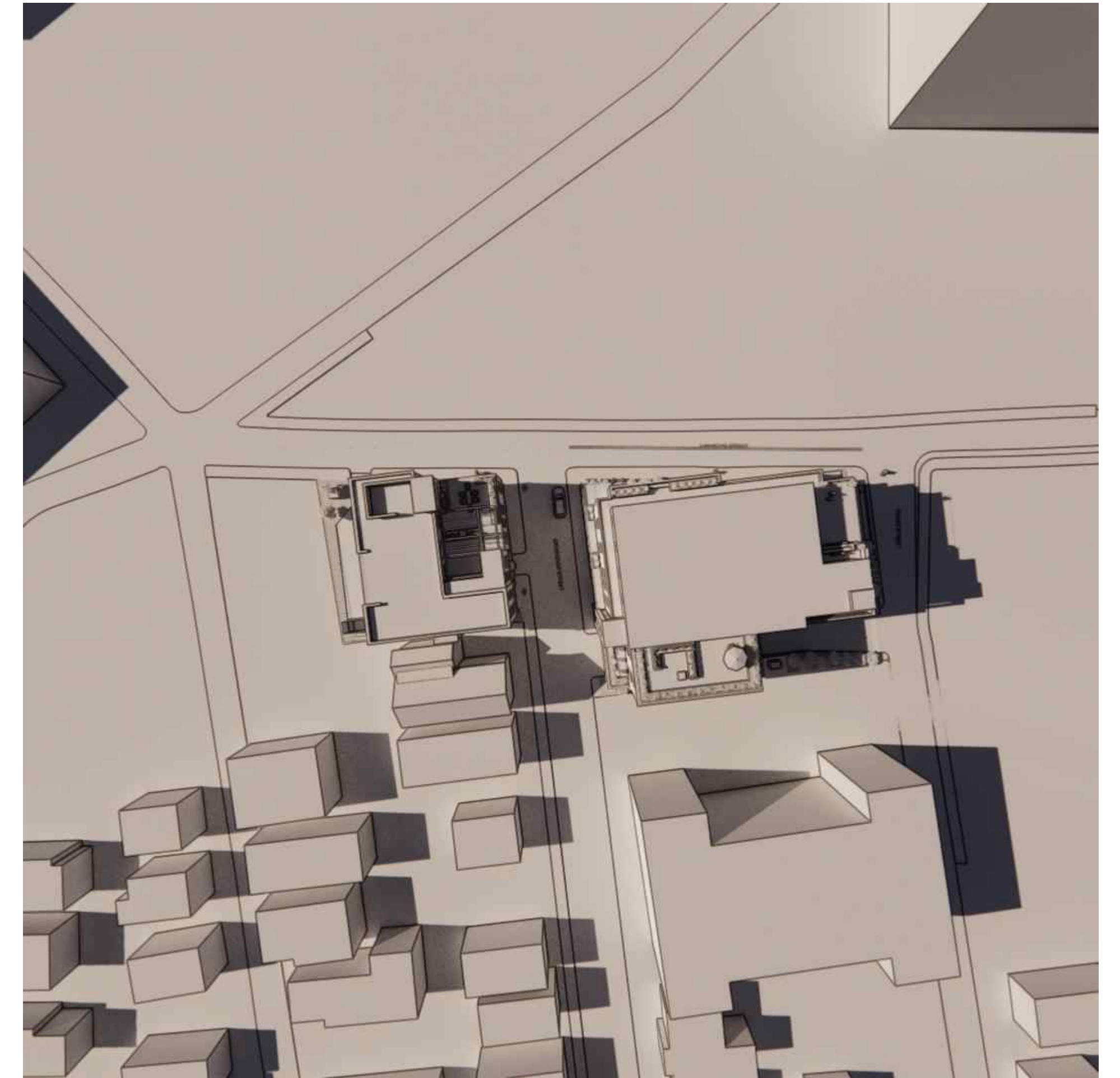
Shaping the Exceptional / 200 Ayer Road / Suite 200 / Harvard, MA 01451 / 978 458 2800



JUNE - 9AM



JUNE - 12PM

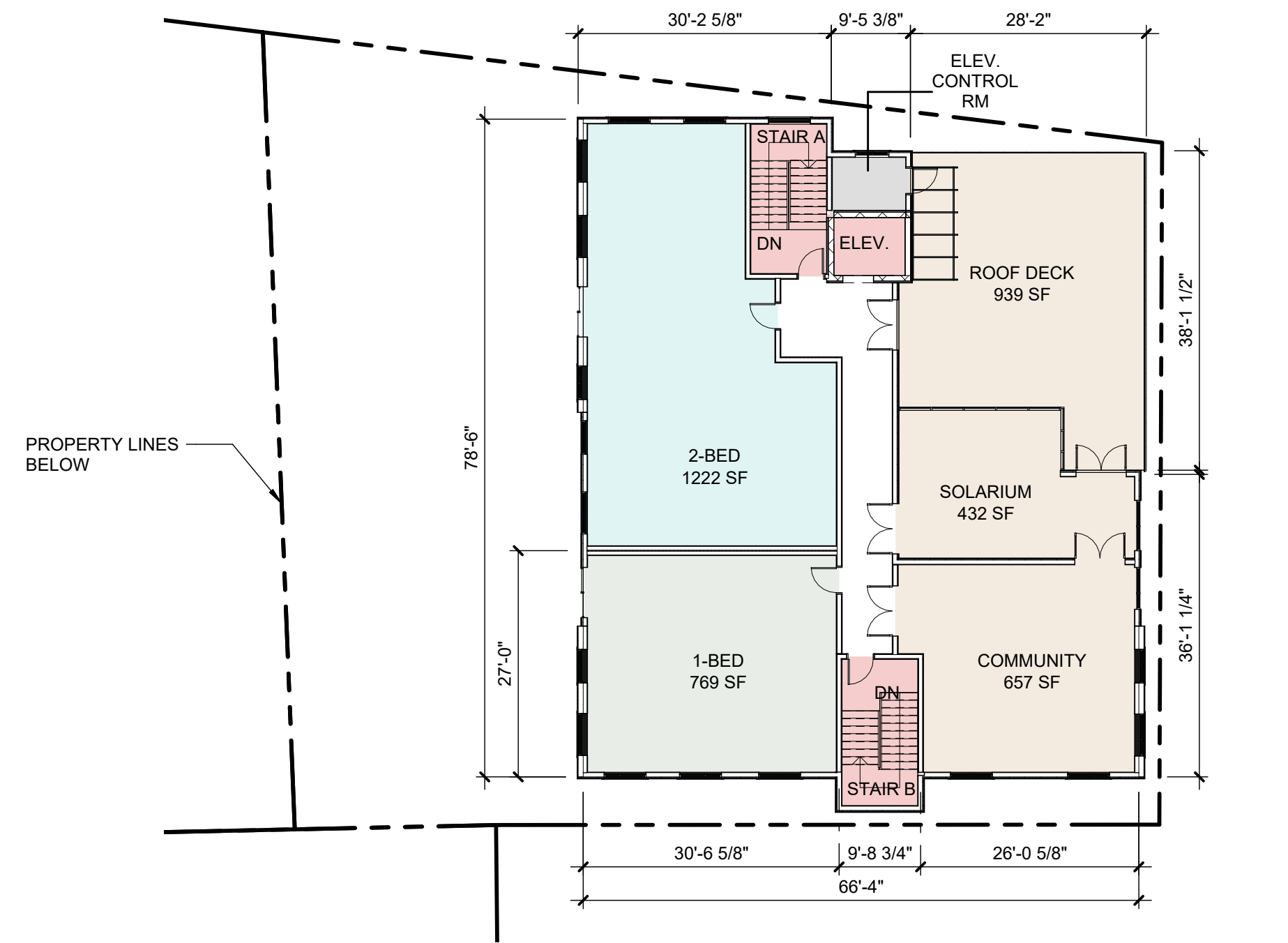
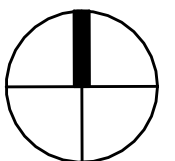


JUNE - 4PM

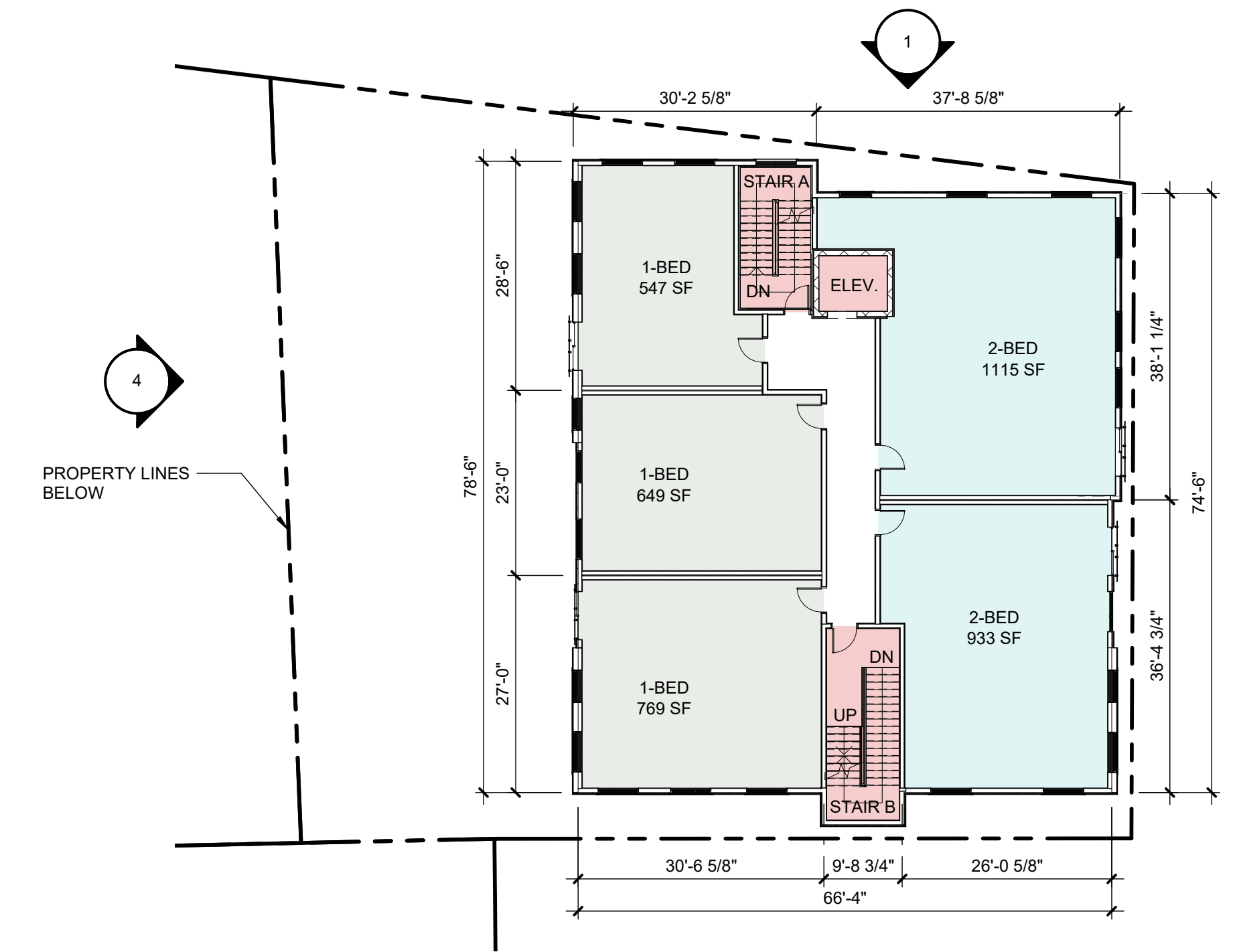
BUILDING BREAKDOWN:					
	1ST	2ND	3RD	4TH	TOTAL
1-BED	0	3	3	1	7
2-BED	0	2	2	1	5
TOTAL	0	5	5	2	12
GSF	1520	5148	5148	4,269	16,085

PARKING BREAKDOWN:	
STANDARD	5 (2 EV)
COMPACT	4
ACCESSIBLE	1 VAN (EV)
TOTAL	10

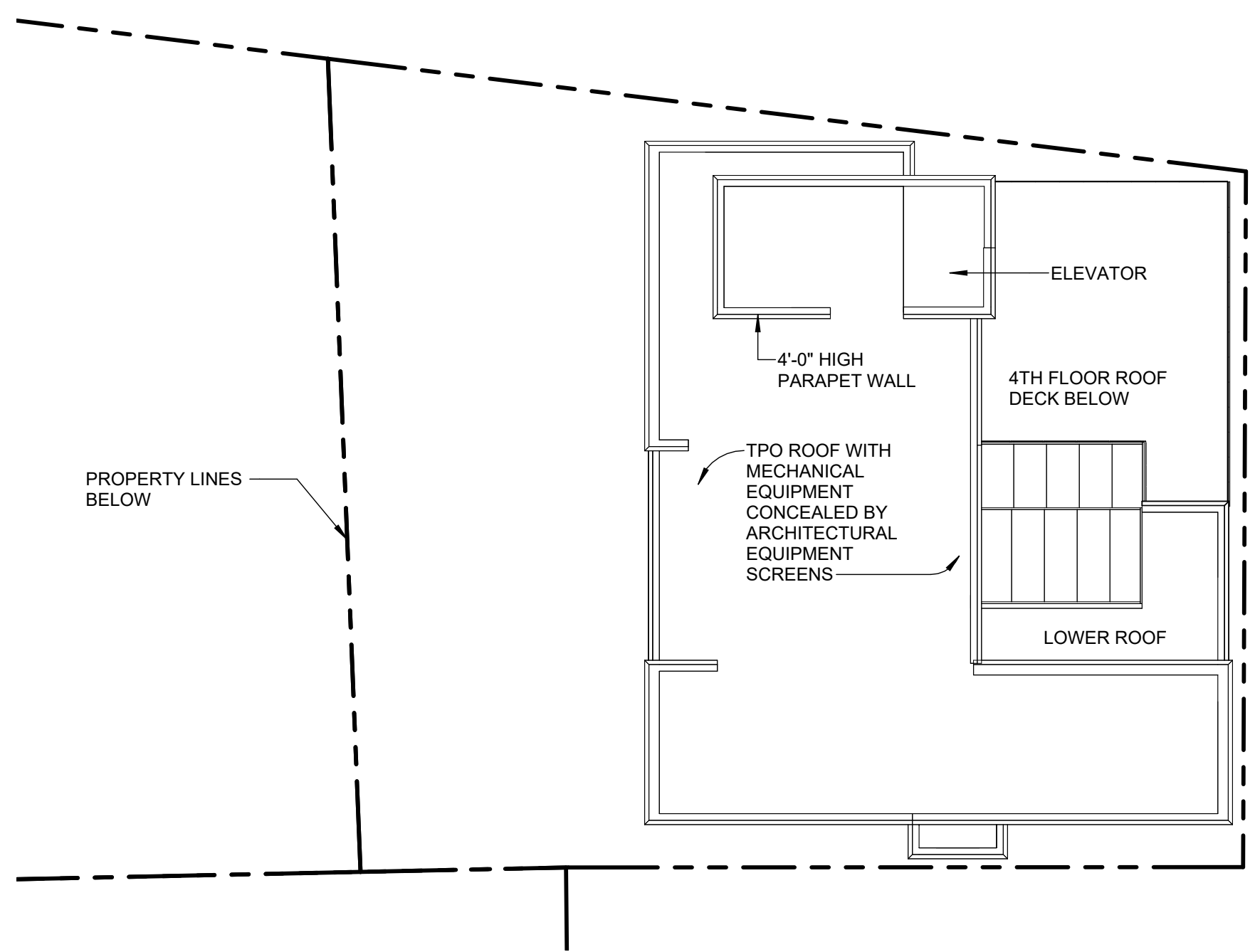
BICYCLE BREAKDOWN:	
COVERED/SECURE	0
EXTERIOR	10
TOTAL	10



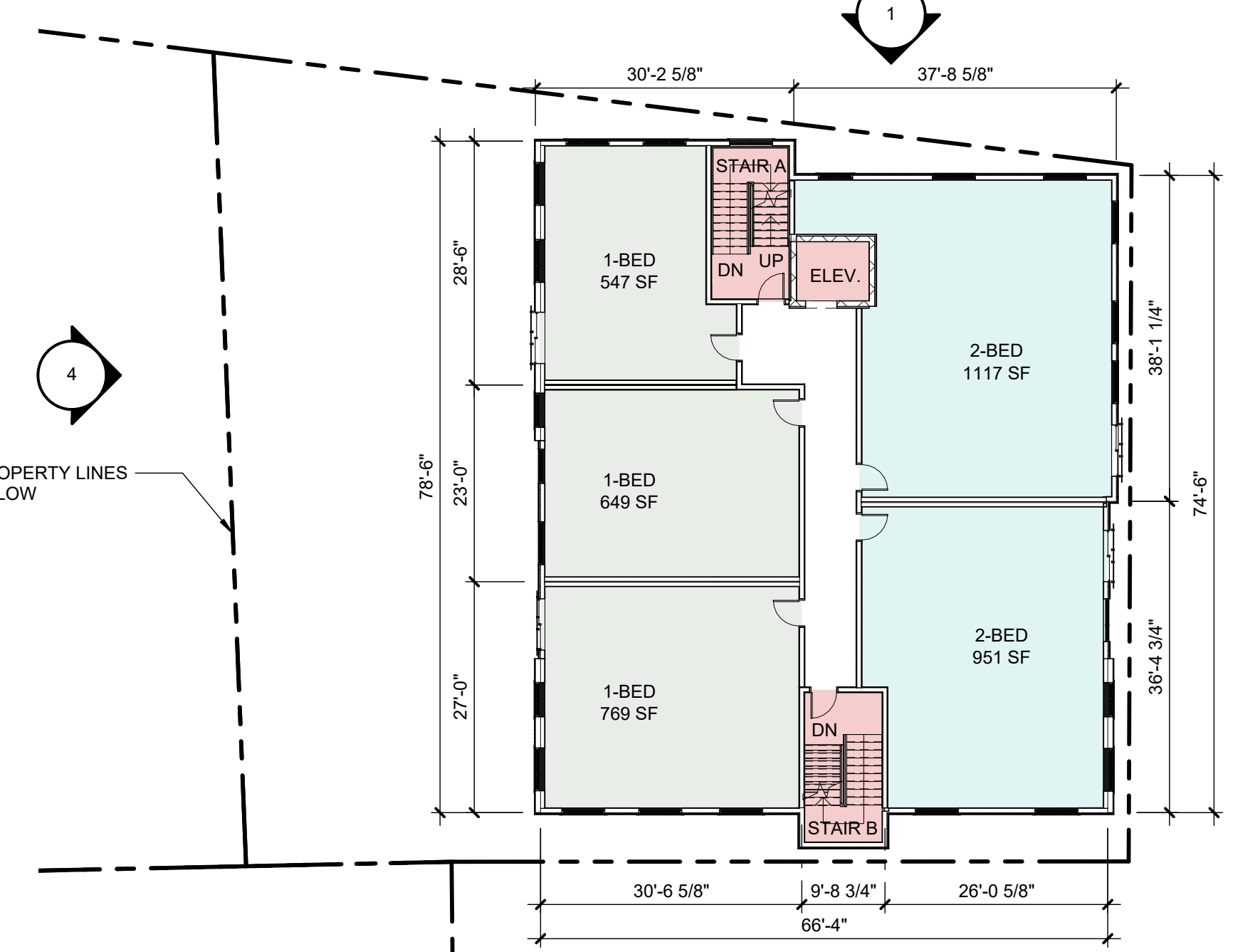
FOURTH FLOOR PLAN
SCALE: 1/16" = 1'-0"



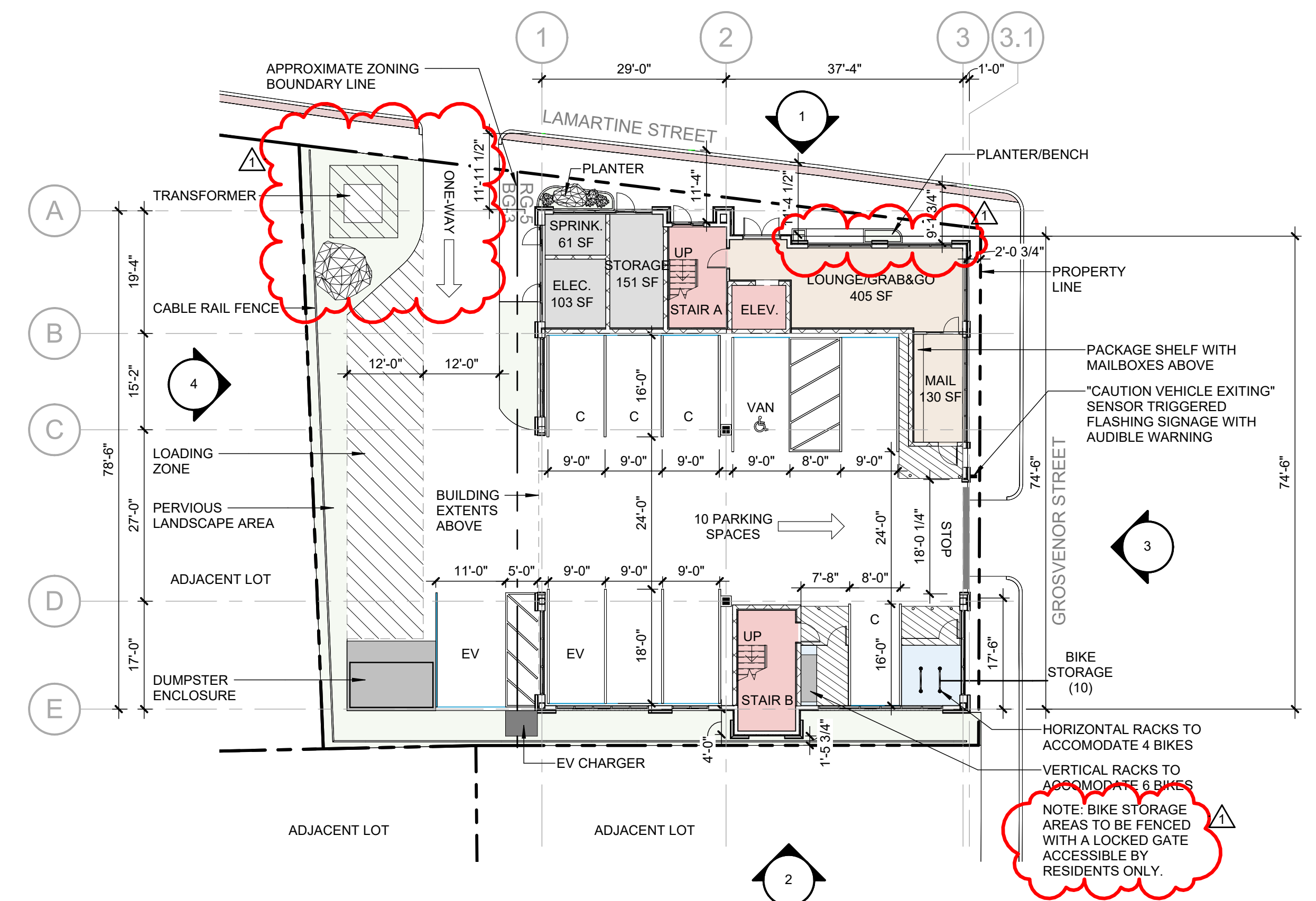
SECOND FLOOR PLAN
SCALE: 1/16" = 1'-0"



ROOF PLAN
SCALE: 1/16" = 1'-0"



THIRD FLOOR PLAN
SCALE: 1/16" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/16" = 1'-0"

FLOOR PLANS

10 GROSVENOR STREET

AUGUST 30, 2024

10 Grosvenor St.
Worcester, MA 01610

Shaping the Exceptional / 200 Ayer Road / Suite 200 / Harvard, MA 01451 / 978 458 2800

00000





10 GROSVENOR STREET

ELEVATIONS

AUGUST 30, 2024

10 Grosvenor St.
Worcester, MA 01610

Shaping the Exceptional / 200 Ayer Road / Suite 200 / Harvard, MA 01451 / 978 458 2800